

Decks

Frequently Asked Questions:

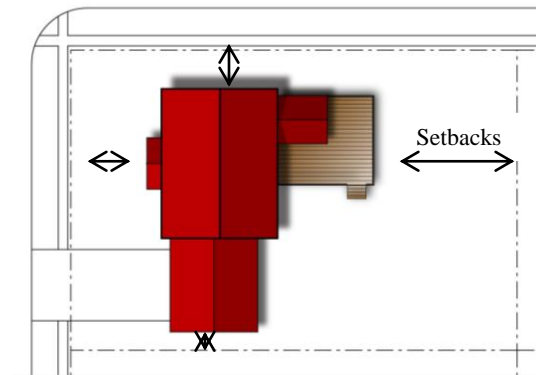
Do I need a permit?

Yes- a permit is required to place or construct a deck.

Can I erect my Deck anywhere?

Yes, however if it is not attached to the principle structure then it is considered an accessory structure.

- Accessory structures have separate, specific, setback regulations that must be followed. Please refer to *Information Sheet 3- Sheds and Other Accessory Structures* for further information about them.
- Attached decks must meet principal structure setbacks.
 - Front yard = 25 feet
 - Rear yard = 25 feet
 - Side yard setbacks range from 5 to 25 feet, depending on your residential zone district.



Is there anything else I should know?

Yes, there are specific construction guidelines for decks. Some of these can be found in *Attachment Sheet AS-1 General Deck Construction Guidelines*. These guidelines are to help create the site plan and are especially useful if you are building your own deck.

What is the next step?

Complete and submit the permit application with your site plan. This can be obtained at City Hall.

PLEASE NOTE: These guidelines are not a comprehensive presentation of all the ordinances involved in placing or constructing a deck.

**If you have questions or concerns please contact the
O'Fallon Community Development Department at (618) 624-4500 x 4**

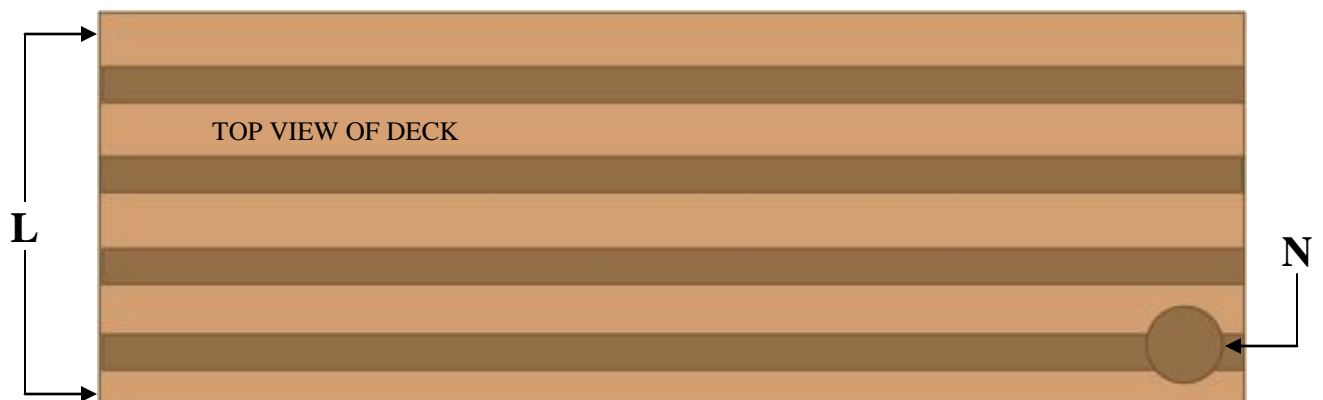
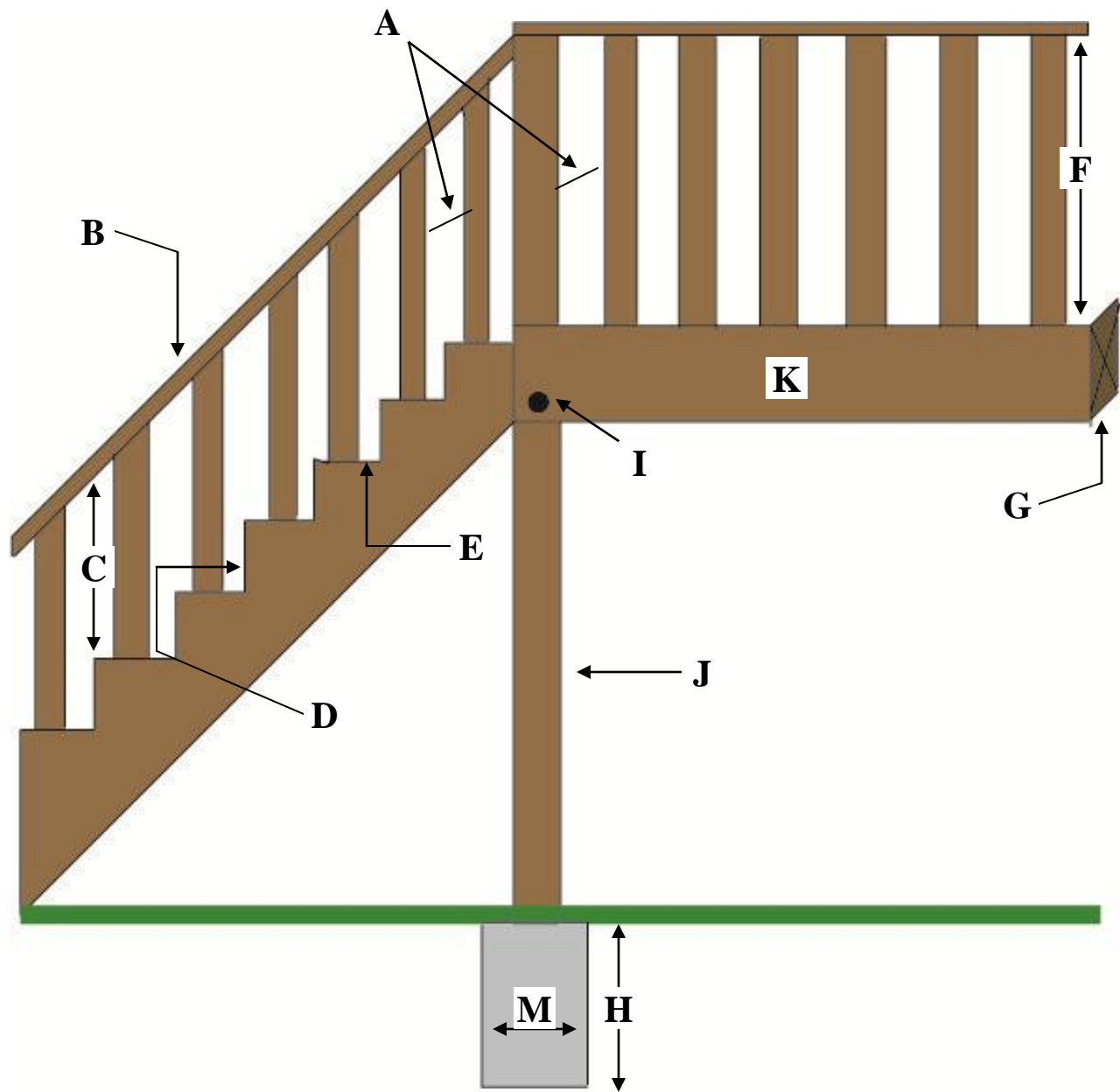
General Deck Construction Guidelines

**** See back for corresponding points on the diagram***

- A.** The maximum distance allowed between the guardrails is 4 inches.
- B.** The handrail grip size must be between 1 ¼ and 2 inches.
- C.** If there are four or more risers on the stairs a handrail on both sides of the stairs is required. The handrails must measure between 34 and 38 inches vertically from the nosing of the stair tread.
- D.** The maximum height for a stair tread riser is 7 ¾ inches.
- E.** The minimum distance for a landing tread is 10 inches.
- F.** If the height of the deck is above 30 inches from the ground level a guardrail must be installed. The minimum height of the guardrail is 36 inches.
- G.** Floor joist that do not rest on at least a 1 ½ inch ledger is required to be fastened with a joist hanger and approved joist hanger nails.
- H.** The minimum distance from the top of the finished grade to the bottom of the pier hole is 30 inches.
- I.** Specify the type of fasteners that will be used for connecting the floor joist to the support columns.
- J.** Specify the size and type of material that will be used for the support columns.
- K.** Specify the size, grade, and spacing of floor joist.
- L.** Specify the size, grade, and application of the deck planking.
- M.** The footing or pier hole width is determined by the load imposed. Specify the footing or pier hole width.
- N.** Specify the locations of the pier holes.

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FOOTINGS [R403]

See Figure 12 and Table 4 for footing size, footing thickness, and post attachment options and requirements. All footings shall bear on solid ground and shall be placed at least 12 inches below the undisturbed ground surface or below the frost line, whichever is deeper. Contact the authority having jurisdiction to determine the specified frost line. Bearing conditions shall be verified in the field by the building official prior to placement of concrete. Where the building official determines that in-place soils with an allowable bearing capacity of less than 1,500 psf are likely to be present at the site, the allowable bearing capacity shall be determined by a soils investigation. DECK FOOTINGS CLOSER THAN 5'-0" TO AN EXISTING EXTERIOR HOUSE WALL MUST BEAR AT THE SAME ELEVATION AS THE FOOTING OF THE EXISTING HOUSE FOUNDATION.

Do not construct footings over utility lines or enclosed meters. Contact local utilities (call 811) before digging.

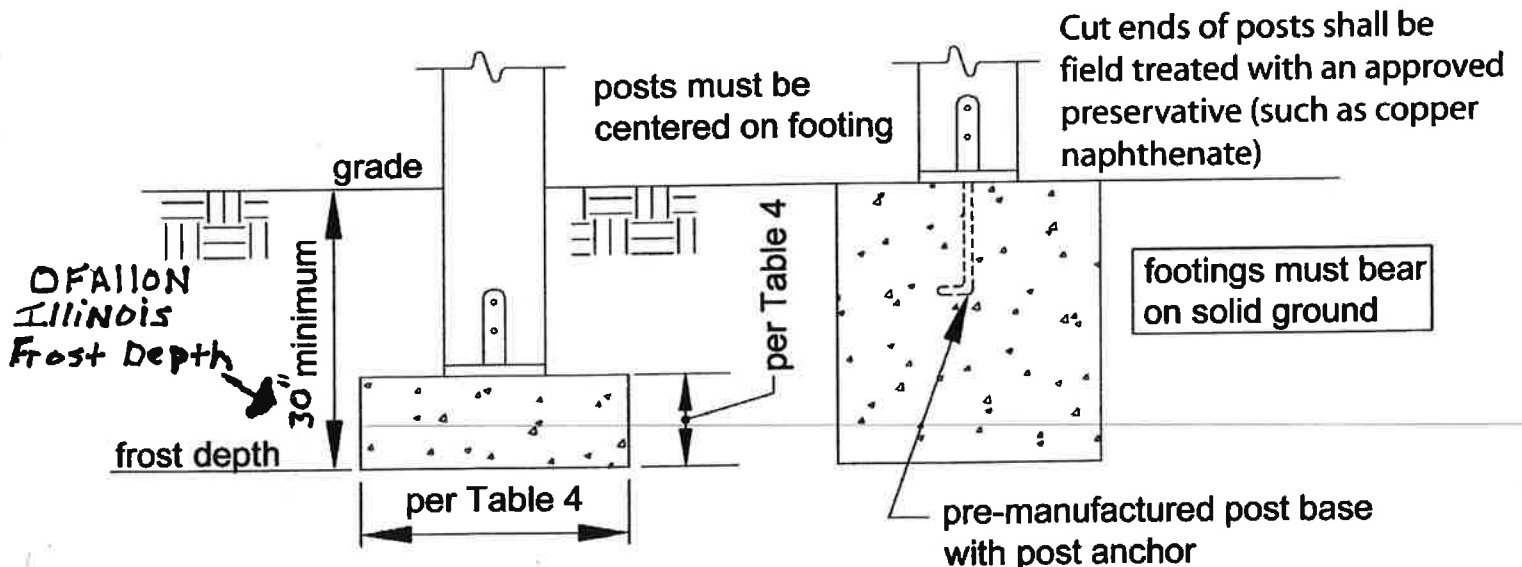
Pre-manufactured post anchors shall be galvanized. See MINIMUM REQUIREMENTS.

Table 4. Footing Sizes¹

Beam Span, L _B	Joist Span, L _J	Round Footing Diameter	Square Footing Dimension	Footing Thickness ²
6'	<10'	15"	13"	6"
	<14'	17"	15"	6"
	<18'	20"	18"	7"
8'	<10'	17"	15"	6"
	<14'	20"	18"	8"
	<18'	23"	21"	9"
10'	<10'	19"	17"	7"
	<14'	22"	20"	9"
	<18'	25"	23"	10"
12'	<10'	21"	19"	8"
	<14'	24"	22"	10"
	<18'	28"	26"	11"
14'	<10'	22"	20"	9"
	<14'	26"	24"	11"
	<18'	30"	28"	12"
16'	<10'	24"	22"	9"
	<14'	28"	26"	12"
	<18'	32"	30"	13"
18'	<10'	25"	23"	10"
	<14'	30"	28"	12"
	<18'	34"	32"	14"

1. Assumes 1,500 psf soil bearing capacity.
2. Assumes 2,500 psi compressive strength of concrete. Coordinate footing thickness with post base and anchor requirements.

Figure 12. Typical Footing Options



CITY OF O'FALLON
CODE OF ORDINANCES
SECTION 158.036(D) SCHEDULE: AREA AND BULK REGULATIONS

PRINCIPAL BUILDING OR STRUCTURE
MINIMUM YARD DIMENSIONS
AGRIC. AND RESIDENTIAL DISTRICTS

		MINIMUM LOT SIZE (SEE NOTE 1)			PRINCIPAL BUILDING OR STRUCTURE MINIMUM YARD DIMENSIONS (SEE NOTE 2)								
A	B	C	D	E	F	G	H		I	J	K	L	M
ZONING DISTRICT	MAXIMUM NUMBER OF DWELLING UNITS	LOT AREA IN SQUARE FEET OR ACRES	LOT WIDTH AT BUILDING LINE, IN LINEAR FEET	MEAN LOT DEPTH, IN LINEAR FEET	DEPTH OF FRONT YARD, IN LINEAR FEET	DEPTH OF SIDE YARD ABUTTING A STREET IN LINEAR FEET	DEPTH OF A SIDE YARD ABUTTING A LOT, IN LINEAR FEET		MINIMUM DISTANCE TO NEAREST PRINCIPAL STRUCTURE ON AN ADJACENT LOT, IN LINEAR FEET	DEPTH OF REAR YARD IN LINEAR FEET	MAXIMUM LOT COVERAGE IN PERCENT (SEE NOTE 3)	MAXIMUM FLOOR AREA RATIO (SEE NOTE 4)	MAXIMUM HEIGHT OF PRINCIPAL BUILDING IN LINEAR FT. (SEE NOTE 5)
							TOTAL FOR BOTH	MINIMUM FOR EITHER					
"A" AGRICULTURAL	1 PER 3 ACRES OF LOT AREA	3 ACRES	150 FT.	200 FT.	25 FT.	25 FT.	20 FT.	10 FT.	20 FT.	25 FT.	20%		35 FT.
"RR" RURAL RESIDENTIAL	1 PER 1 ACRES OF LOT AREA	1 ACRE	100 FT.	150 FT.	25 FT.	25 FT.	20 FT.	10 FT.	20 FT.	25 FT.	25%		35 FT.
"SR-1" SINGLE-FAMILY	1 PER 10,000 SQ. FT. OF LOT AREA	10,000 SQ. FT.	75 FT.	100 FT.	25 FT.	25 FT.	20 FT.	10 FT.	20 FT.	25 FT.	30%		35 FT.
"SR-1B" SINGLE-FAMILY	1 PER 10,000 SQ. FT. OF LOT AREA	10,000 SQ. FT.	75 FT.	100 FT.	25 FT.	25 FT.	15 FT.	7 1/2 FT.	15 FT.	25 FT.	30%		35 FT.
"SR-2" SINGLE-FAMILY	1 PER 8,000 SQ. FT. OF LOT AREA	8,000 SQ. FT.	60 FT.	100 FT.	25 FT.	25 FT.	15 FT.	7 1/2 FT.	15 FT.	25 FT.	30%		35 FT.
"SR-3" SINGLE-FAMILY	1 PER 6,000 SQ. FT. OF LOT AREA	6,000 SQ. FT.	50 FT.	100 FT.	25 FT.	25 FT.	10 FT.	5 FT.	10 FT.	25 FT.	30%		35 FT.
"MR-1" 2-, 3-, & 4-FAMILY	1 PER 3,000 SQ. FT. OF LOT AREA	6,000 SQ. FT. MINIMUM, OR 3,000 SQ. FT. PER DWELLING UNIT, WHICHEVER IS GREATER.	50 FT. MINIMUM, OR 25 FT. PER DWELLING UNIT, WHICHEVER IS GREATER.	120 FT.	25 FT.	25 FT.	10 FT.	5 FT.	10 FT.	25 FT.	30%		35 FT.
"MR-2" MULTI-FAMILY	1 PER 2,700 SQ. FT. OF LOT AREA	6,000 SQ. FT. MINIMUM, OR 2,700 SQ. FT. PER DWELLING UNIT, WHICHEVER IS GREATER.	50 FT. MINIMUM, OR 10 FT. PER DWELLING UNIT, WHICHEVER IS GREATER.	120 FT.	25 FT.	25 FT.	10 FT. MINIMUM, OR 6 IN. PER FT. OF BUILDING HEIGHT, (1/2 THE BUILDING'S HEIGHT), WHICHEVER IS GREATER.		20 FT.	25 FT.	30%	3/4 : 1	35 FT.
"MH-1" SINGLE-FAMILY MOBILE HOME DWELLING DISTRICT	1 PER 6,000 SQ. FT. OF LOT AREA	6,000 SQ. FT.	50 FT.	100 FT.	25 FT.	25 FT.	10 FT.	5 FT.	10 FT.	25 FT.	30%		35 FT.
"MH-2" SINGLE-FAMILY MODULAR RESIDENCE AND IMMOBILIZED MOBILE HOME DWELLING DISTRICT	1 PER 7,500 SQ. FT. OF LOT AREA	7,500 SQ. FT.	60 FT.	120 FT.	25 FT.	25 FT.	10 FT.	5 FT.	10 FT.	25 FT.	30%		35 FT.