



## AGENDA

TUESDAY, DECEMBER 8, 2015 @ 6:00 P.M.

O'FALLON CITY HALL - 255 SOUTH LINCOLN AVENUE

1. Call to order by Chairman.
2. "Pledge of Allegiance to the Flag."
3. Roll Call and Establishment of Quorum.
4. Reading and approval of the minutes of the previous meeting.
5. Recognition of visitors and their purpose.
6. Unfinished Business
7. Public Hearings –
  - a. **(P2015-17)** – Zoning amendment subject to the Planned Development Ordinance for “B-1(P)” Planned Community Business District for Tim Hortons Café & Bake Shop and Reliance Bank, with a drive-thru and a drive-up ATM; located at 450 Regency Park Drive. The applicant is Eric Sigurdson of Show Me Hospitality, LLC.
8. Reports of Standing and Special Committees – no reports
9. Reports and Communications
10. Adjournment

General Citizen Comments: The City of O'Fallon welcomes comments from our citizens. The Illinois Open Meetings Act provides an opportunity for citizens to speak at all committee and Board meetings. However, 5 ILCS 120/1 mandates that NO action shall be taken on matters not listed on the agenda. Please submit your name to the chairman and limit your comments so that anyone present has the opportunity to speak.

**DRAFT MINUTES**  
**O’FALLON PLANNING COMMISSION**  
**November 10, 2015**

Chairman Larry Sewell called the meeting to order at 6:00 p.m. in the City Council Chambers and led the Pledge of Allegiance.

**ATTENDANCE:** Debbie Arell-Martinez, present; Jeffrey Baskett, present; Patricia Cavins, present; Al Keeler, present; Rebecca Pickett, present; Joe Rogers, present; Ray Rohr, present; Larry Sewell, present. A quorum was declared present by Sewell.

**MINUTES:** Motion was made by Rohr and seconded by Pickett to approve the minutes of September 22, 2015. All Ayes. Motion carried.

Sewell welcomed everyone and explained the role of the Planning Commission. The Planning Commission members introduced themselves. Also present were Community Development Director Ted Shekell and Senior City Planner Justin Randall. Sewell gave an overview of the process that would be followed for the evening.

**UNFINISHED BUSINESS:** None.

**PUBLIC HEARINGS:**

**(P2015-14) – Zoning amendment to amend the previously approved development plan for undeveloped Lots 1, 2, 4 - 14, 17 - 22, 25 - 32, 34 - 48, 50, and 52 - 63 of Stone Bridge Estates subdivision, in an “SR-1B(P)” Planned Single-Family Residence Dwelling District. The amendment is to revise the approved home building elevations. The petitioner and contract purchaser is McBride Stone Bridge, LLC, represented by Jeannie Aumiller.**

Public hearing was opened at 6:04 p.m. Randall showed maps of the subject and surrounding properties, their zoning, and Future Land Use Map and presented an overview of the proposed elevation changes of the remaining 55 single-family lots in the development. Randall showed images of the proposed one-story and two-story elevations and described the timeline of the development:

- Initial approval of the development and elevations by ordinance in 2005
- Approval of another developer's revised elevations by resolution in 2010
- Approval for setback variance for Lots 1-7 in 2012
- All required public infrastructures (streets, water, and sewer) have been constructed – public sidewalks will be constructed at the time a residence is built
- Proposed elevations by McBride Stone Bridge, LLC

McBride Stone Bridge, LLC has requested a revised planned use ordinance to provide better clarity of the many revisions granted on this development over the years.

McBride Stone Bridge, LLC has reached agreement with Stone Bridge Villas Home Owners' Association with respects to:

- Only single-story homes will be constructed on Lots 1-7 due to grade differentials between the Estates and Villas
- Home color restrictions on Lots 1-14
- Fencing for Lots 1-14
- Tree planting fees for Lots 1-14
- Villas HOA has agreed to McBride's proposed elevation changes

Shekell explained the City's desire for consistency of design throughout the development which resulted in this originally being a planned development, although the City typically does not get involved with specific home elevations.

Pickett questioned how long the development has been sitting dormant. Shekell responded that it has been about 10 years and McBride has worked to find home designs that will fit the existing lot sizes and infrastructure that is already in place. These proposed homes are suitable for this development.

Randall reported the Parkland Dedication Fee of \$866.19 per home constructed will be required. The variance granted for Lots 1-7 to reduce front setback to 20 will remain as a condition in the amended ordinance if approved.

Public comments were opened at 6:16 p.m.

Aaron Windholz, McBride & Son Homes was sworn in. Windholz testified there is no change in density, lot size, or layout of the subdivision. He previously met with several of the Villas homeowners and answered many of their questions.

Jack Eddinger, resident of Stone Bridge Villas was sworn in. Eddinger explained the covenants and restrictions for the subdivision were previously amended and minimum size of the homes is specifically detailed in the covenants. Eddinger expressed his opinion that these proposed elevations are plain and different from what was approved years ago. He also cited concern with the proposed elevations not being consistent with the covenants.

Windholz responded the market is different now than it was in 2005. The present market makes it not practical to be as restricted with size allowances. They are proposing homes that range from 1,500 sq ft to no maximum size restrictions. Windholz reported their upscale product fits in with the existing construction and pointed out there is already a 2-story home built in the development that has no brick. He pointed out there have only been 8 homes built in the development over the last 10 years. They want to compliment the neighborhood and expand the offerings and get the community built out rather than leave it stagnant.

Windholz concluded that they had also discussed with the Villas HOA the ground elevations and the types of homes the Villas would like to see on Lots 8-14. Lots 1-7

have a higher ground elevation than Lots 8-14 and Lot 3 has a single-story home on it. Placing 2-story homes on the lower elevation Lots 8-14 will lend them to not setting much higher than the overall height of the home on Lot 3.

Pickett asked about the cost of their homes with respects to size. Windholz explained the McBride business plan whereas they sell a base house and add options at the customer's choice. Low base price is \$170's and the average will be more in the low to mid \$200's. An 1,800 sq ft home base price would be closer to the \$190's.

Shekell explained the City's approval of the elevations in this development became necessary when it was revealed to the City during the approval process in City Council that the original developer wanted to build manufactured housing which was contrary to what was presented to the City during the review process. The City wanted it made clear what was expected in this development.

Shekell explained the City's position of reviewing covenants is to verify consistency with City Codes only. Even though the covenants are recorded with the subdivision plat and run with the land, they are a private agreement between the property owners that generally does not involve intervention by the City. In all practicality, the City is not part of the decision to uphold the covenants and what is proposed by McBride is not inconsistent with what the City ordinances and laws allow.

After much discussion, it was concluded the covenant agreement is between the developer and residents, and the City is not for or against any minimum-size home plans.

Rohr commented the size of a home must be disregarded and the end product with options and add-ons should be measured.

Public comments were closed at 6:45 p.m.

### **Staff Recommendation:**

Randall read over the Staff Recommendation as follows:

Staff believes the elevations are consistent enough with the originally approved elevations in the Stone Bridge Estate development and recommends approval of the amended planned use, with the following conditions:

- A variance to Lot 1-7 to reduce the front setback to 20 feet.
- A Park Fee of \$866.19 shall be collected for each home permit approved for McBride & Son Homes
- The sidewalk associated with the lot will be constructed with each home permit approved for McBride & Son Homes.
- All other required improvements have been constructed previously



Motion was made by Baskett and seconded by Rogers to approve the Staff's Recommendation as written.

Shekell clarified for Rohr that there will eventually be sidewalks on both sides of the street.

**ROLL CALL:** Arell-Martinez, aye; Baskett, aye; Cavins, aye; Keeler, aye; Pickett, aye; Rogers, Aye; Rohr, aye; Sewell, aye. All Ayes. Motion to approve with conditions passed.

The project moves to Community Development on November 23, 2015, at 6 p.m. The public hearing was closed at 6:48 p.m.

**(P2015-15) – Zoning amendment from “A” Agricultural to “SR-1B” Single-Family Residence Dwelling District to divide one lot into two single-family residential lots at 399 North Seven Hills Road. The petitioners are Richard & Kathryn Kurtz**

Public hearing was opened at 6:48 p.m. Randall presented an overview of the project and staff report. Maps of the subject and surrounding properties, their zoning, and the Future Land Use Map were shown. Current lot size is 2.96 acres and to allow a lot split, the property cannot be zoned Agricultural as the minimum lot size requirement for “A” zoning is 3 acres. Randall presented the proposed minor subdivision creating two lots from the one. In order to provide sewer to the newly created lot for the new home, a sewer easement will be required through the proposed lot which will be the current homestead.

Public comments were opened at 6:52 p.m.

There was no testimony for or against the petition.

Public comments were closed at 6:53 p.m.

**Staff Recommendation:**

Randall read over the Staff Recommendation as follows:

Staff recommends approval of the requested rezoning to the SR-1B, Single Family Residential Dwelling District.

Motion was made by Rohr and seconded by Keeler to approve the Staff's Recommendation as written.

**ROLL CALL:** Arell-Martinez, aye; Baskett, aye; Cavins, aye; Keeler, aye; Pickett, aye; Rogers, Aye; Rohr, aye; Sewell, aye. All Ayes. Motion to approve passed.

The project moves to Community Development on November 23, 2015, at 6 p.m. The public hearing was closed at 6:54 p.m.

**(P2015-16) – Zoning amendment subject to the Planned Development Ordinance for “B-1(P)” Planned Community Business District to amend the previously approved Planned Use for Academy Sports located at 1574 West Highway 50. The applicant is ID Associates, Inc. on behalf of Lincoln Crossing, LLC and Academy Sports.**

Public hearing was opened at 6:55 p.m. Randall explained the purpose of the amendment. The project was previously approved by the Planning Commission in April, 2015. However, the sign package was not presented in its entirety and final design revealed the signage would not comply with the Sign Code. This amendment will include the same criteria and conditions as previously approved and will now include signage. Maps of the subject and surrounding properties, their zoning, and Future Land Use Map were shown.

Randall showed a rendering of the proposed development being off West Highway 50 appearing to sit back behind the old Dairy Queen site.

Randall reiterated the variances and approval criteria from the previously approved Planned Use and explained the addition of the sign variances. Comparison was made to Gander Mountain signage approval whereas the percentage of wall area coverage is approximately the same and is not out of character for the proposed development.

Public comments were opened at 7:01 p.m.

Rosalyn Holderfield, applicant, was sworn in and offered to answer any questions.

Public comments were closed at 7:02 p.m.

**Staff Recommendation:**

Randall read over the Staff Recommendation as follows:

Staff recommends approval of the project, with the following conditions:

- A variance to allow the parking lot to be striped according to the site plan and allowing the parking lot to remain as constructed, in terms of existing landscape islands and lighting (previously approved).
- A variance to allow the front elevation to have three wall signs (previously approved).
- A variance to allow 561.8 square feet on the front elevation (facing West Highway 50) and 337.13 square feet on the rear elevation (facing Interstate 64) (current request).

Motion was made by Baskett and seconded by Pickett to approve the Staff's Recommendation as written.

**ROLL CALL:** Arell-Martinez, aye; Baskett, aye; Cavins, aye; Keeler, aye; Pickett, aye; Rogers, Aye; Rohr, aye; Sewell, aye. All Ayes. Motion to approve with conditions passed.

The project moves to Community Development on November 23, 2015, at 6 p.m. The public hearing was closed at 7:03 p.m.

**REPORTS OF STANDING AND SPECIAL COMMITTEES:** None.

**REPORTS AND COMMUNICATION:**

Randall announced that there are no petitions awaiting public hearing for the November 24<sup>th</sup> meeting, so that meeting has been cancelled.

Shekell reported there will likely be a public hearing scheduled for December 8<sup>th</sup>.

Shekell concluded by updating the Commission on current projects and stated there has been much interest in future developments throughout various parts of the City.

**ADJOURNMENT:**

Motion was made by Rogers and seconded by Keeler to adjourn. All ayes. Motion carried. The meeting was adjourned at 7:12 p.m.

Respectfully submitted,

---

Vicki Evans, Transcriptionist

---

Minutes approved by Planning Commission



---

## PROJECT REPORT

---

**TO:** Planning Commission  
**FROM:** Justin Randall, Senior City Planner  
Ted Shekell, Community Development Director  
**DATE:** December 8, 2015  
**PROJECT:** P2015-17: Tim Hortons & Reliance Bank – Planned Use

---

**Location:** 450 Regency Park  
**Ward:** 1  
**Applicant:** Eric Sigurdson of Show Me Hospitality, LLC  
**Owner:** Sunrise Counties, LLC  
**Submitted:** November 2, 2015

### Introduction

The applicant, Eric Sigurdson of Show Me Hospitality, LLC has filed an application requesting a planned use for a parcel of land at 450 Regency Park, zoned B-1(P), Planned Community Business District for the construction of a 3,370 square foot Tim Horton's Café and Bake Shop and Reliance Bank. The majority (2,403 square feet) of the building will be occupied by Tim Hortons and 967 square feet will be utilized by Reliance Bank. There will be a drive-thru for the Tim Hortons and an ATM drive-thru for Reliance Bank.

### Existing Conditions

#### Subject Property

The subject property for the proposed Tim Horton's Café and Bake Shop and Reliance Bank is an approximate 0.80 acre (34,752 square foot) parcel. The property is located on the north side of Regency Park, in front of the Regency Conference Center.

The property is currently vacant and is generally flat. A private access road for a number of properties, including the Regency Conference Center and Green Mount Professional Building (under construction) will be located on the eastern property line and will serve as the access to the subject property. The site will utilize a 4.64 acre stormwater retention facility on the St. Elizabeth site, behind the Hilton Garden Inn and Regency Conference Center. The subject property is located outside of any floodplain.

#### Surrounding Properties

The property surrounding the proposed Tim Horton's Café and Bake Shop and Reliance Bank is a mixture of non-residential uses, including commercial, office, and restaurants. The following is detailed information on the surrounding zoning and land uses.

#### Community Development Department

255 South Lincoln Avenue, O'Fallon, IL 62269 ♦ P: 618.624.4500 x 4 ♦ F: 618.624.4534

Surrounding Zoning:  
North: B-1(P) & O-1(P)

East: B-1(P)

South: B-1(P)

West: B-1(P)

Surrounding Land Use:  
North: Vacant land adjoining the Regency Conference Center and St. Elizabeth's Hospital site

East: Green Mount Professional Building (under construction)

South: Bella Milano, Global Brew, Egg and I, PNC Bank and Green Mount Corporate Center

West: Hilton Garden Inn & Regency Conference Center

### **Applicable Ordinances, Documents and Reports**

O'Fallon Comprehensive Plan: The O'Fallon Comprehensive Plan Future Land Use Map depicts the subject property as *Regional Commercial*, which is consistent with the proposed project.

Code of Ordinances: The proposed Tim Horton's Café and Bake Shop and Reliance Bank is subject to Article 6 Planned Uses of Chapter 158: Zoning of the Code of Ordinance and requires a development plan. The property is also subject to the B-1, Community Business District requirements and the Commercial Design Handbook

Public Notice: Public Notice of this project has been fulfilled in accordance with Section 158.255 and 158.256 of the City of O'Fallon Zoning Regulations. More specifically, the applicant has notified property owners within 250 feet of the subject property via certified mail of the filing of the zoning amendment. Additionally, the City has notified property owners within 250 feet of the subject parcel of the public hearing at least 15 days prior to the hearing and published notice of the public hearing in a local newspaper at least 15 days in advance. Proof of notification is on file with the City's Community Development Department.

### **Discussion Points/Issues**

#### **Land Use**

Tim Horton's Café and Bake Shop and Reliance Bank is a combined 3,370 square foot, one-story building. The proposed building is a mixed use building with 2,403 square feet associated with Tim Horton's and 967 square feet utilized by Reliance Bank. A planned use rezoning is required because the project includes a drive-thru and because the property is already governed by an existing planned use rezoning.

#### **Traffic Circulation/Parking**

Existing Infrastructure: Regency Park will convey traffic to a private access drive which provides access to the site. Regency Park intersects Green Mount Road at a signalized intersection just south of the site. Regency Park then moves to the northwest to a signalized intersection with Highway 50, just east of Exit 14 off Interstate 64. Regency Park is a two-lane city street with a middle turn lane. The private access drive provides access to a number of parcels, including the subject property, the Green Mount Professional Building, a vacant parcel adjoining the Regency Conference Center and is the service entrance to the Regency Conference Center and Hilton Garden Inn. The private access drive is approximately 36 feet wide at Regency Park and tapers down to approximately 24 feet wide near the northern edge of the subject property.

Ingress and Egress: Access to the site will be by means of two points of access, both on the private access drive off Regency Park. The private access drive is located on an adjacent parcel, however is located within an access easement and is not a city street. The development plan proposes a right-in, right-out access approximately 55-60 feet north of Regency Park. The right-in, right-out access has a 2-foot concrete median in the private access drive to discourage left turns in and out of this particular access point. The second access point is a full access, approximately 160 feet north of Regency Park. The private access road begins to taper down at this point and is not

wide enough for a left turn lane into the Tim Horton's and Reliance Bank site. The development plan is proposing an access point to the Regency Conference Center parking lot, utilizing a blanket cross access easement for access and parking on a number of parcels adjoining the subject property.

City staff consulted Lee Cannon of CBB Traffic Engineers to analyze the proposed ingress and egress for the site and the lack of left turn into the site. Lee Cannon indicated "at this time, with the access drive only serving the Tim Horton's, back of house services of the conference center and hotel and the new office building, a left turn lane into the site is not necessary." However, Lee Cannon indicated that "if a second hotel were to be constructed or the access drive connects to the St. Elizabeth's hospital site the access drive would need to be widened to a three-lane road segment with a two-way-left-turn lane center lane."

The private land owners in the area are currently in discussions with each other about the reconstruction of the private access drive and the improvements necessary with the current developments and the potential of a second hotel adjoining the conference center and a connection to the St. Elizabeth's Hospital site. Additionally, all parties (including Tim Horton's and Reliance Bank) will be subject to a maintenance agreement for the repair, snow removal and other improvements to the private access drive.

*Parking:* The proposed building has two uses, a restaurant (Tim Horton's Café and Bake Shop) and a bank (Reliance Bank). Fast food restaurants have two parking ratios, and the code requires the ratio that requires the most parking spaces be applied. The first ratio is 9 parking spaces per 1,000 gross floor area (2,403 square feet = 22 spaces). The second ratio is based on number of seats and employees (38 seats + 10 employees = 26 spaces). Additionally, the code requires the bank component of the building to provide parking at a rate of 4 parking spaces per 1,000 gross floor area (967 square feet = 4 spaces). Overall, the site is required to provide 30 parking spaces. The site plan has provided 23 parking spaces on-site, with 7 spaces being utilized on the Regency Conference Center site, through the cross access easement for access and parking on a number of properties adjoining the subject property. Section 158.141 indicates that off-site parking is a required variance that must be approved by City Council, therefore, the applicant is requesting a variance.

*Drive-Thru:* Restaurants with drive-thru facilities require 8 stacking spaces for the drive-thru. The site plan has accommodation for the minimum of 8 stacking spaces for the drive-thru, with the ninth car beginning to stack past the curb of the drive-thru. During the review of the drive-thru for the site, Lee Cannon of CCB Traffic Engineers indicated the 95 percentile of the national average for stacking for a Tim Horton's site is 10 vehicles, which with the site plan as proposed will begin to spill into the entrance during peak times (however, not out onto the access drive). The applicant, Eric Sigurdson, has indicated that "the St. Louis market is experiencing less than 50% drive-thru traffic, compared to 60-70% in other markets." Eric Sigurdson indicated "they are now increasing the size of the building and eliminating a second drive-thru lane, but the site is planned in a manner to readily allow for a second drive-thru lane to be constructed if required to relieve any potential future stacking issues."

In addition to the drive-thru for Tim Horton's, Reliance Bank will have a drive-thru ATM. The ATM is located off the escape lane and has the ability to stack two cars without spilling into the escape lane. The City's regulations does not specify a stacking requirement for ATM, however previous approvals for ATMs in parking lots throughout the City have had stacking for three cars. In this particular instance, staff believes that two stacking spaces is adequate, with the potential to use the escape lane if a third car would queue to use the ATM.

*On-site circulation:* The site plan has an extra lane around the drive-thru that will act as the required escape lane around the drive-thru and provide access to an ATM for Reliance Bank. Overall once on-site, staff believes there is sufficient traffic circulation within the parking lot to maintain an efficient flow of traffic onto and throughout the site.

*Parking space size:* Code requires 10' x 19' parking spaces with 24' aisles (62' modules). The proposed development provides 10' x 19' parking spaces with 24' drive aisle, which complies with the regulations. The site also meets the requirements for accessible parking.

*Parking lot lighting:* The plan currently does not account for parking lot lighting, however the site will need to provide lighting that meets the lighting code requirements. The light poles are required to be located in landscape islands and the photometric plan will need to be submitted to indicate the site has adequate levels of lighting across the parking area. Additional details on the lighting standards will need to be provided to ensure lighting is directed toward the ground to reduce glare as required in Section 158.143.

### Utilities and Drainage

#### *Public Utilities*

There are multiple water mains adjacent to the site including a 16" water main along the south side of Regency Park and an 8" water main on the east side of the private access drive. The proposed water service for the building will come off the 8" water line located along the west side of the access drive.

Sewer service will be provided by Caseyville Township Sewer District.

#### *Drainage*

Storm water will be accommodated by utilizing the existing retention (wet) basin at the southern end of the St. Elizabeth's site.

### Building and Site Improvements

The proposed Tim Horton's Café and Bake Shop and Reliance Bank will have four-side visibility. The building elevations meet many of the recommendations of the Commercial Design Handbook, including use of varying building materials, incorporation of architectural components, awnings and varying roof lines. The exterior building materials include a mix of brick, stone, EIFS and glass. The mechanical units are located behind a screen wall on the roof. The dumpster is located at the north end of the parking lot area within a split face concrete block enclosure, consistent with the building design. Since the building and site will have 360 degree visibility, staff believes additional façade improvements to the north and west elevations would improve the quality of the building. Staff recommends the stone base located on most of the elevations be extended around the north and northwest side of the building.

### Sidewalk

The plan proposes to leave the existing sidewalk on Regency Park. Because the access drive on the east property line is private, a sidewalk is not required along the access drive.

### Landscaping and Buffer Requirements

#### *Parking Lot Landscaping*

A landscaping plan has been submitted for the site. The landscape plan includes planting meeting the City's requirements for landscaping the parking lot, street landscaping. The site plan shows multiple areas in which the 7-foot buffer around the perimeter of the parking lot is not met; along the private access drive, the northern property line and the western property line. The applicant has requested the reduction of the 7-foot buffers as a part of the site plan approval. The site currently has the necessary street trees along Regency Park, however since the private access drive is not a City street, there is not a requirement for street trees along the access drive.

#### *Buffers*

The property is surrounded by B-1(P) zoning, therefore there are no requirements for a structural buffer.

### Signage

The planned use submittal includes a comprehensive sign package for the Tim Horton's Café and Bake Shop and Reliance Bank.

#### *Freestanding Signs*

According to Chapter 158, "Sign Regulations" of the Code of Ordinances, the applicant is permitted to install one freestanding sign totaling 90.5 square feet on the property, since this is a multi-tenant building. The sign package shows one freestanding sign at the corner of Regency Park and the private access drive. The monument sign is setback approximately 12 feet from the property line. The freestanding sign is proposed at 8 feet tall and 6.25 feet wide totaling 39 square feet of signage, including the 1.3 foot high stone base. The freestanding sign as proposed meets all the sign code requirements for the development.

#### *Wall Signs*

The wall signage as proposed meets most of the city's sign code requirements. Based on the size of the building and the number of tenants the sign code allows up to 10% of the wall area square footage for signage per elevation, with signage located on a maximum of 3 elevations. Each tenant is permitted to have a sign on each of the three elevations.

The proposed sign package breaks down the wall signage based on elevations, providing the approximate sign dimensions:

- South Elevation – 1,194.14 square feet (119.4 square feet of signage allowed)
  - Tim Horton's Sign: 32.58 square feet
  - Reliance Bank Sign: 30.30 square feet
  - Total of 62.88 square feet of signage on the south elevation
- East Elevation – 1,225.28 square feet (122.5 square feet of signage allowed)
  - Tim Horton's Sign: 32.58 square feet
  - Reliance Bank Sign: 39.86 square feet
  - Tim Horton's Sign: 32.58 square feet
  - Total of 105.02 square feet of signage on the south elevation
- West Elevation – 1,145.90 square feet (114.5 square feet of signage allowed)
  - Tim Horton's Sign: 27.51 square feet

The only elevation not meeting the city's sign regulation is the East Elevation, which the applicant is requesting a second sign for Tim Horton's. The applicant has requested a variance to allow the second sign for Tim Horton's.

### Variances

*Parking Counts:* The development provides 23 parking spaces on site and proposes to utilize 7 parking spaces on the Regency Conference site, through an existing cross access agreement for access and parking. Section 158.141 requires a variance by the City Council to have required parking offsite and has to meet the following conditions:

1. The parking must be provided on a property with the same zoning classification as the property that the spaces serve, or a less restrictive zoning classification.
  - a. The Regency Conference Center is zoned B-1 (P), same as the subject property.
2. No required parking spaces may be located across any state or U.S highway from the use they are intended to serve.
  - a. The Regency Conference Center parking area and the 7 proposed off-site spaces are located adjacent to the subject property.
3. Off-property variance may be granted up to 200 feet away in the B-1 District.
  - a. The Regency Conference Center parking area and the 7 proposed off-site spaces are located adjacent to the subject property, less than 200 feet away.

The proposed offsite parking meets all the conditions and staff feels there is sufficient evidence to indicate the offsite parking will not negatively affect the development or surrounding properties.



*Parking Lot Design:* The landscape plan will have to meet the City's requirements, with the exception of the applicant's request to reduce the required 7-foot wide planting strip around the parking lot on the north, east and west. The petitioner has requested a variance to reduce the planting strip to ensure the appropriate drive aisles width, escape lane and potential widening of the private access drive could be facilitated. Staff would recommend smaller buffer strips along the private access drive and the parking lots adjacent to the development to ensure safe ingress/egress and onsite circulation throughout the site.

*Signage:* The sign code allows one wall sign for each establishment at a maximum of 10% of the wall area. The east building elevation is proposing two signs for Tim Horton's and one sign for Reliance Bank, all three signs stay under the 10% allowed signage, however Tim Horton's would only be allowed one sign on the east elevation. Overall, staff has reviewed the sign package and believes the sign package is not out of scale for the proposed development.

#### Review and Approval Criteria

Section 158.119 of Article 6 "Planned Uses" lists several criteria for evaluating planned uses. Evaluation of the project based on these factors is included under each criterion.

1. The criteria governing the rezoning of the property and approval of site plans, as set forth in the standards and requirements found elsewhere in the zoning code or in other applicable law,  
*The project meets all applicable zoning standards except for the variances identified above.*
2. The physical design of the proposed plan and the manner in which said design makes adequate provisions for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and park dedication, and furthers the amenities of light, air, recreation and visual enjoyment.  
*The proposed development provides adequate provisions for public services, provides the necessary improvements to the control the increased traffic. Staff believes the site furthers the amenities of light, air, recreation and visual enjoyment.*
3. The relationship and compatibility of the proposed plan to adjacent properties and the surrounding neighborhood.  
*The development includes a number of visual enhancements done to reduce the visibility of mechanical units and landscaping will be provided to help in reducing the size of the building.*
4. The conformity with the standards and principles of the Comprehensive Plan and all other adopted regulations, including the Commercial Design Handbook dated July 6, 2009 and on file with the City Clerk.  
(Ord 3665; passed 5-3-10)  
*The proposal is consistent with the Comprehensive Plan and the design of the buildings meets the intent of the Commercial Design Handbook.*
5. The use(s) are designed, located and proposed to be operated so that the public health, safety and welfare will be protected.  
*The proposed development is designed to be operated to protect the public health, safety and welfare.*
6. An identified community need exists for the proposed use.  
*Yes, a community need exists for the proposed use.*
7. The proposed use(s) will not impede the normal and orderly development and improvement of the surrounding property, nor impair the use, enjoyment, or value of neighboring properties.  
*The development will not impede the normal and orderly development and use of the surrounding property, nor will it impair the use, enjoyment, or value of neighboring properties.*
8. The degree of harmony between the architectural quality of the proposed building and the surrounding neighborhood.  
*The proposed building is similar to and will not detract from many of the structures surrounding the property.*

9. The appropriateness of the minimum dimensions and areas of lots and yards set forth in the applicable zoning district regulations.  
*The proposed development will be required to meet the area-bulk requirements set forth in the B-1 Community Business District.*

### **Staff Recommendation**

Staff recommends approval of the project with the following conditions:

1. A variance to allow 7 of the 30 parking spaces required for the site to be offsite on the Regency Conference Center, subject to the existing cross access and parking easement and Section 158.141.
2. A variance to allow the parking lot perimeter to be constructed per the site plan.
3. A variance to the sign code to allow two wall signs for Tim Horton's on the east elevation.
4. If at any such point in time where the City at its discretion, through an independent consultant, believes the drive-thru traffic is causing a problem to the general public (i.e. queuing onto the access road) Tim Horton's will be required to construct the 2<sup>nd</sup> drive-thru lane within an agreed upon timeline.
5. A service agreement with the adjoining lot owners on how to manage the necessary improvements, maintenance and repair of the access drive must be in place prior to final occupancy and a signed copy provided to the City.
6. Provide additional stone base around the north and northwest side of the building.
7. Provide additional cross access easement for the improvements to the access drive.
8. A landscaping plan shall be submitted in accordance with the standards of Section 158.144.

### **Attachments**

Attachment 1 – Project Application  
Attachment 2 – Zoning Map  
Attachment 3 – Surrounding Land Use Map  
Attachment 4 – Site Plan  
Attachment 5 – Building Elevations  
Attachment 6 – Sign Package



## Planned Use / Re-Zoning Application

NAME OF PROJECT: Tim Hortons Cafe & Bake Shop

ADDRESS/GENERAL LOCATION: 450 Regency Park O'Fallon, IL 62269

SUBDIVISION NAME & LOT NUMBER(S): Shoppes at Green Mount 03-36.0-204-017

PARCEL NUMBER(S): 03360204017

**PLEASE CHECK THE TYPE OF APPLICATION (PLEASE CHECK ONE):**

- ☒ PLANNED USE  
☐ RE-ZONING (STANDARD MAP AMENDMENT)

**SUMMARY DATA (RESPOND TO ALL THAT APPLY):**

PRESENT ZONING: B-1(P) Community Business District PROPOSED NUMBER OF BUILDINGS: 1

PROPOSED ZONING: B-1(P) Community Business District PROPOSED GROSS FLOOR AREA: 3,370 GFA

PROPOSED # OF LOTS: 1 AREA IN ACRES: 0.80 Acre (34,752 SF)

PROPOSED # OF DWELLING UNITS: 1 PRESENT USE: Open Lot

**APPLICANT INFORMATION:**

NAME: Eric Sigurdson

COMPANY: Show Me Hospitality, LLC

ADDRESS: 1254 Hanley Industrial Court  
St. Louis, MO 63144

PHONE: 314-989-1000

FAX: \_\_\_\_\_

EMAIL: esigurdson@timhortonsstl.com

Eric Sigurdson

BD

SIGNATURE OF APPLICANT

**DESIGN PROFESSIONAL INFORMATION:**

NAME: Bob Dunn

COMPANY: Fox Architects

ADDRESS: 1 Memorial Drive, Suite 1800  
St. Louis, MO 63102

PHONE: 314-621-4343 x115

FAX: 314-621-0261

EMAIL: bdunn@fox-arch.com

SIGNATURE OF DESIGN PROFESSIONAL

**STAFF USE ONLY**

DATE RECEIVED: \_\_\_\_\_

APPLICATION RECEIVED BY: \_\_\_\_\_

APPLICATION FEE: \_\_\_\_\_

PROJECT ID #: \_\_\_\_\_

STAFF ASSIGNED: \_\_\_\_\_

PLAN REVIEW FEE DEPOSIT REC'D: \_\_\_\_\_

1 Memorial Drive, Suite 1800      t 314 621 4343  
St. Louis, MO 63102-2448 USA      f 314 621 0261

November 02, 2015

Mr. Justin L. Randall, AICP  
Senior City Planner  
Community Development Department  
255 South Lincoln  
O'Fallon, IL 62269  
USA

Re: Tim Hortons P&Z Submittal on behalf of Show Me Hospitality, LLC (SMH)

Dear Justin,

Fox Architects (FOX) is pleased to submit the attached P&Z Submittal for the above referenced project.

The project is a mixed use for Tim Hortons Café and Bake Shop with Reliance Bank (Bakery and Bank). The Bakery is 2,403 GFA and the Bank is 967 GFA for a total of 3,370 GFA with a maximum building height of 19'-0" above grade. The building will be constructed for all A2 use Bakery and the construction type is all 5B unprotected. The Bank being a lesser B use does not figure into the allowable buildable area and egress calculations; A2 use as noted. But the parking calculations and occupancy calculations for plumbing fixture counts do take into account the lesser Bank requirements for B use.

The building is all designed to meet Tim Hortons (TH) branding and design intent for the Bakery and only the Bank signage is added to the building design itself. The TH standards are being changed from cementitious concrete siding to an EIFS to work with the surrounding O'Fallon design standards for the French Roast (dark brown) as noted in the attached submittal.

All P&Z requirements are planned to meet the City of O'Fallon (City) and state of Illinois building codes except for: set back to side street where we are matching existing curbs in place but plan to accommodate a future street widening with a parking layout. Building signage is larger than City ordinances per building elevation SF but needs to be as illustrated to meet TH standards and Bank in the same smaller building.

SNH does have a traffic study under way and plan to submit the finding this week. Our preliminary finding shows that the Bakery and Bank should not impact the Regency Conference Center but we illustrate a back-up plan at SMH expense that will not impact the Conference Center traffic.

Sincerely,  
Fox Architects

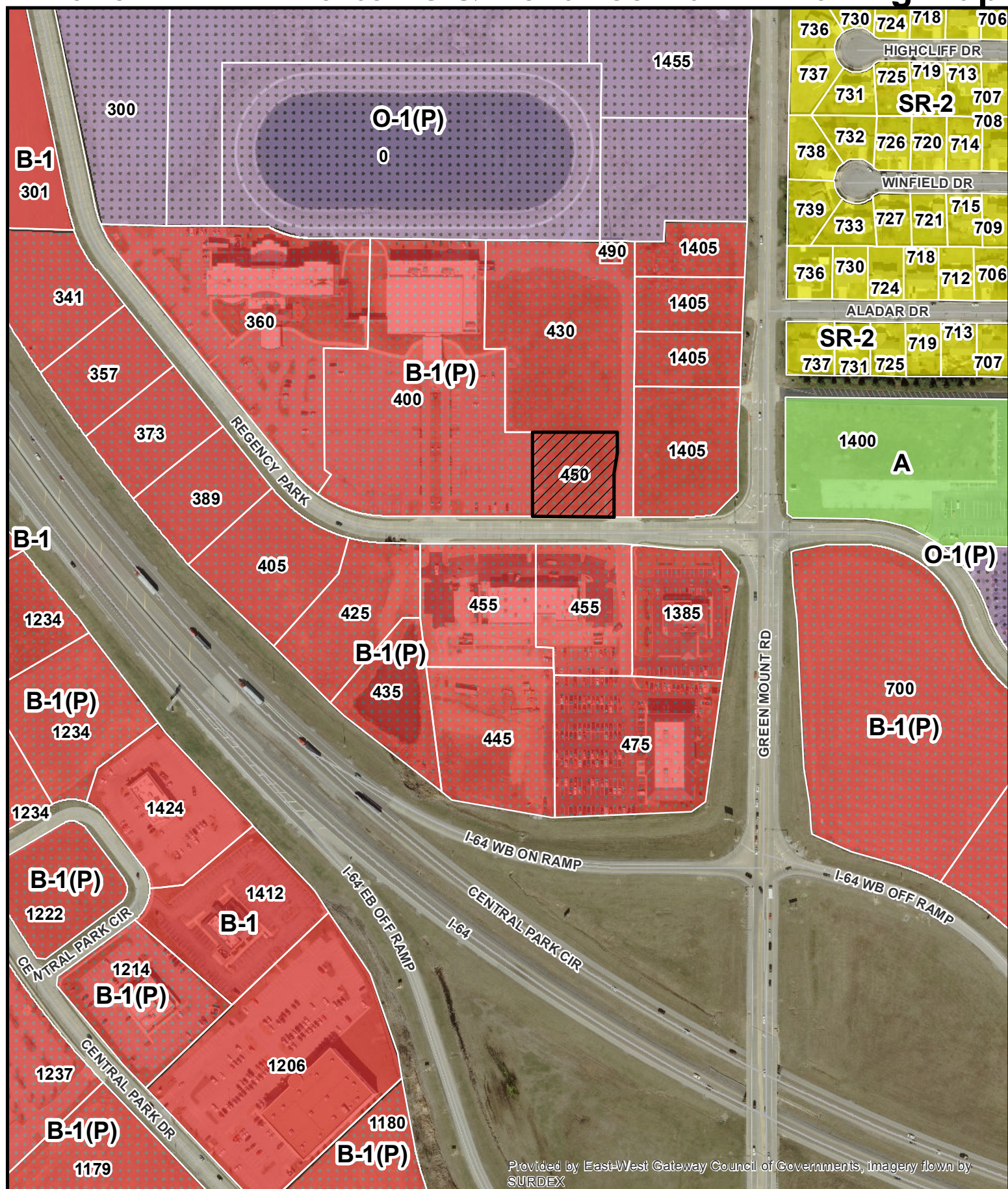


Bob Dunn  
Principal

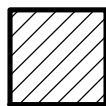
Enclosure



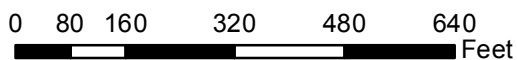
## P2015-17: Tim Horton's & Reliance Bank - Zoning Map



Provided by East-West Gateway Council of Governments, imagery flown by SURDEX



## Subject Property

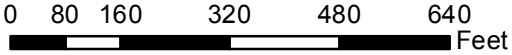




# P2015-17: Tim Horton's & Reliance Bank - Land Use Map



Subject  
Property

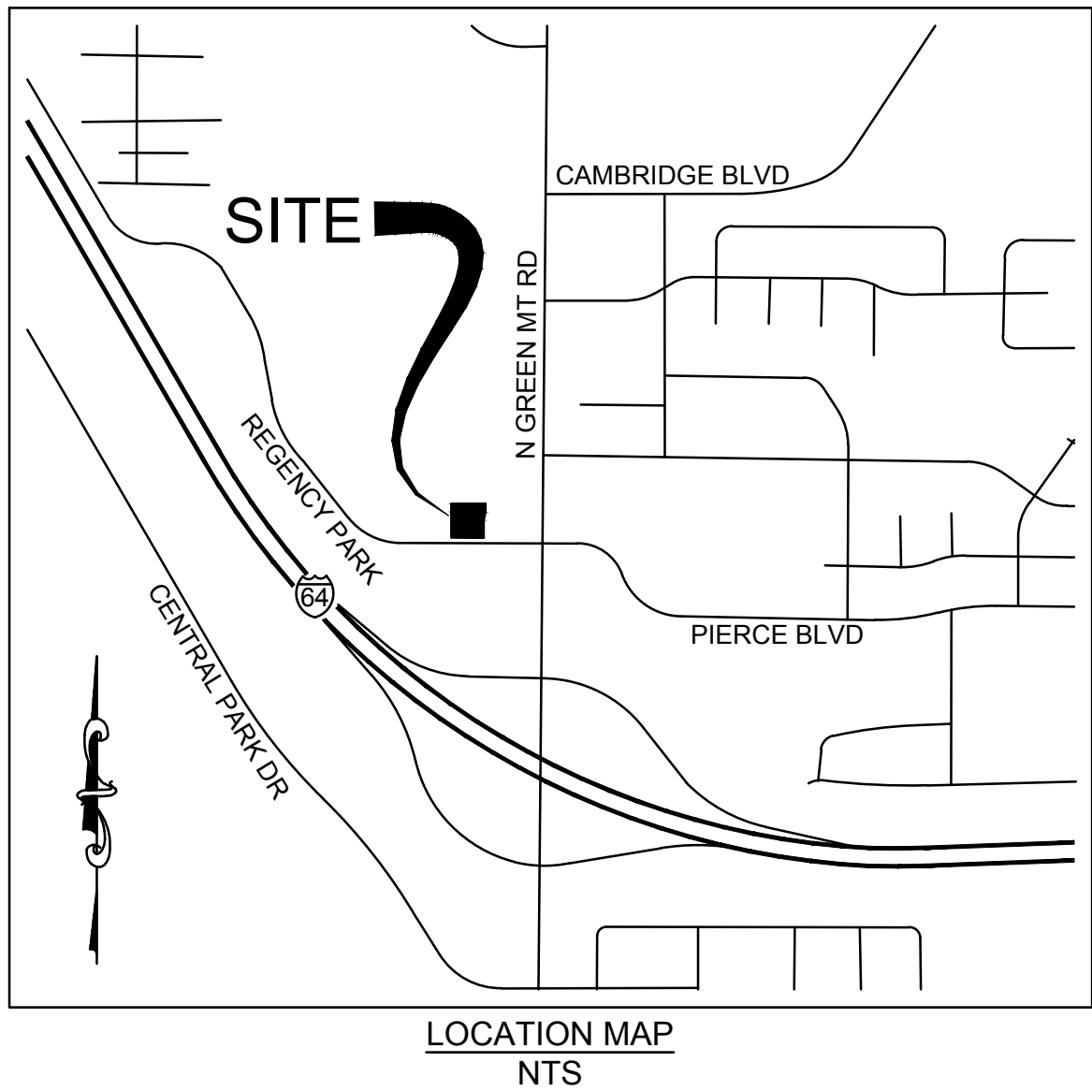




PRELIMINARY SITE PLAN FOR  
TIM HORTON'S CAFE & BAKE SHOP  
AND RELIANCE BANK

450 REGENCY PARK

A TRACT OF LAND BEING ALL OF LOT 12D OF THE SHOPPES AT GREEN MOUNT,  
REFERENCED BEING HAD TO THE PLAT THEREOF RECORDED IN PLAT BOOK 104  
PAGE 61 IN THE ST. CLAIR COUNTY, ILLINOIS LAND RECORDS  
BEING LOCATED IN THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH,  
RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN,  
ST. CLAIR COUNTY, ILLINOIS



DISTURBED AREA = 0.84 ACRES

**BENCHMARK:**  
U.S.G.S. DATUM, ST. CLAIR COUNTY HIGHWAY DEPARTMENT BRASS TABLET  
PID - JB1367 ELEV.=549.28

**SITE BENCHMARK:**  
"U" ON SOUTHERN EDGE OF EXISTING CONCRETE CURBED ISLAND LOCATED AT  
NORTHWEST CORNER OF SITE. ELEV = 540.20'

ELECTRONIC DRAWING NOTE:

ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL  
SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY  
NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS  
BASED ON THE USE OF PAPER COPIES OF THE PLANS.

SHEET INDEX

Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	SITE PLAN
C-3	UTILITY AND GRADING PLAN
L-1	LANDSCAPE PLAN

SUMMARY TABLE:

- SITE AREA = 0.80 AC. (34,802 SF)
- MAXIMUM GROSS FLOOR AREA = 2-1 RATIO
- PROPOSED GROSS FLOOR AREA = 3,370 SF + 34,802 SF = 9.68%
- PERCENTAGE (%) OF BUILDING COVERAGE = 10%
- EXISTING ZONING - B-1 (P) COMMUNITY BUSINESS DISTRICT
- PROPOSED ZONING - B-1 (P) COMMUNITY BUSINESS DISTRICT
- REQUIRED BAKERY PARKING - (9 SPACES PER 1,000 SF) = 2,403 SF + 1,000 = 22 SPACES  
REQUIRED BANK PARKING - (4 SPACES PER 1,000 SF) = 967 SF + 1,000 = 4 SPACES  
TOTAL PARKING REQUIRED - 26 SPACES  
PROVIDED PARKING - 10'X19' 21 SPACES  
ADA 2 SPACES  
TOTAL 23 SPACES
- PROPOSED BUILDING HEIGHT - 19'-0"

SITE COVERAGE CALCULATIONS

Site Area = 0.80 Acres  
Existing Impervious Area Parking Lot and Building  
0.00 Acres of Pavement  
0.00 Acres of Building  
Existing Pervious Area  
0.80 Acres

Existing percent of Impervious Area Coverage = 0%  
Existing Pavement Areas = 0.00 Acres @ 3.54 = 0.00 cfs  
Existing Grass Areas = 0.80 Acres @ 1.70 = 1.36 cfs  
Total = 1.36 cfs

Proposed Impervious Area Parking Lot and Building  
0.55 Acres of Pavement  
0.08 Acres of Building  
Proposed Green Space  
0.17 Acres of Green Space

Proposed Percent of Impervious Area Coverage = 79%  
Proposed Impervious Areas  
Pavement Areas = 0.55 Acres @ 3.54 = 1.95 cfs  
Buildings Areas = 0.08 Acres @ 3.54 = 0.28 cfs  
Proposed Pervious Areas  
Proposed Grass = 0.17 Acres @ 1.70 = 0.29 cfs  
Total Run-off = 2.52 cfs

Differential Run-off: 2.52 cfs (Proposed) - 1.36 cfs (Existing) = 1.16 cfs

CITY COUNCIL APPROVAL:

The Preliminary Site Plan for the Tim Hortons/Regency Bank was approved by the City Council of the City of O'Fallon, Illinois on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Mayor \_\_\_\_\_ Date \_\_\_\_\_

Attest:

City Clerk \_\_\_\_\_ Date \_\_\_\_\_

Project Directory

OWNER / DEVELOPER

Show Me Hospitality, LLC  
1254 Hanley Industrial Court  
St. Louis, MO 63144  
314-989-1000  
Contact: Eric Sigurson

ARCHITECT

Fox Architects  
1 Memorial Drive, Suite 1800  
St. Louis, MO 63102  
314-621-4343 x-115  
Contact: Bob Dunn

CIVIL ENGINEER

Premier Civil Engineering, LLC  
308 TCW Court  
Lake Saint Louis, MO 63367  
314-925-7453  
Contact: Debbie Stosz

SURVEYOR

Premier Civil Engineering, LLC  
308 TCW Court  
Lake Saint Louis, MO 63367  
314-925-7456  
Contact: David Maxwell

MUNICIPALITY

City of O'Fallon  
255 South Lincoln  
O'Fallon, IL 62269  
618-624-4500  
Contact: Justin Randall

UTILITY CONTACTS

City of O'Fallon Water  
255 South Lincoln  
O'Fallon, IL 62269  
618-624-4500 x-3  
Contact: T.B.D.

Electric  
Ameren Illinois Electric  
PO Box 88034  
O'Fallon, IL 60680  
1-888-659-4540  
Contact: T.B.D.

Gas  
Ameren Illinois Gas  
PO Box 88034  
O'Fallon, IL 60680  
1-888-659-4540  
Contact: T.B.D.  
Telephone  
AT&T Business Communication Services  
1-800-660-3000  
Contact: T.B.D.


















Fire Department  
O'Fallon Fire Department  
1215 Taylor Road  
O'Fallon, IL 62269  
618-624-4515  
Contact: Chief Brent Saunders

Sanitary Sewer  
Caseyville Township  
10001 Bunkum Road  
Fairview Heights, IL 62208  
618-398-6248  
Contact: Jeff Bevirt

EXISTING LEGEND

	FOUND IRON PIPE
	SET IRON PIPE (2012007849)
	FOUND STONE MONUMENT
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	IRRIGATION CONTROL VALVE
	GAS VALVE
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER GRATE INLET
	PIPE BOLLARD
	SIGN
	BUSH
	TREE
	TRAFFIC SIGNAL BOX
	MONITORING WELL
	TEST HOLE
	TELEPHONE LINE MARKER
	ELECTRIC METER
	STORM CURB INLET
	STORM DOUBLE CURB INLET
	AIR CONDITIONER
	DOWN SPOUT
	BACK OF CURB
	EX. ELECTRIC (O/VHD)
	EX. ELECTRIC (UGRD)
	EX. GAS
	EX. WATER
	EX. COMMUNICATION

PROPOSED LEGEND

	UTILITY POLE
	FIRE HYDRANT
	VALVE
	WATER METER VAULT
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	MONITORING WELL
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	GRATE INLET
	DOUBLE CURB INLET
	PIPE BOLLARD
	SIGN
	ELECTRIC METER
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE



NOTE:  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

FoxArchitects

Suite 1800  
63102  
Fax: 314.621.0261  
www.fox-arch.com

1 Memorial Drive  
St. Louis, Missouri  
Main: 314.621.4343  
fox@fox-arch.com

OWNER

Show Me Hospitality, LLC  
1254 Hanley Industrial Court  
St. Louis, MO 63114  
314.989.1000

MEP ENGINEERS (Design/Build)

SSC Engineering  
18207 Edison Avenue  
Chesterfield, MO 63005  
636.530.7770

CIVIL ENGINEERS

Premier Civil Engineering  
308 TCW Court  
Lake Saint Louis, MO 63367  
314.925.7444



Project  
Tim Hortons Cafe & Bake Shop  
and Reliance Bank

Sheet Title  
COVER SHEET

Revisions

Date 12/04/15  
Sheet No.

C-1

Project No. 1439.02

Drawn By DLS

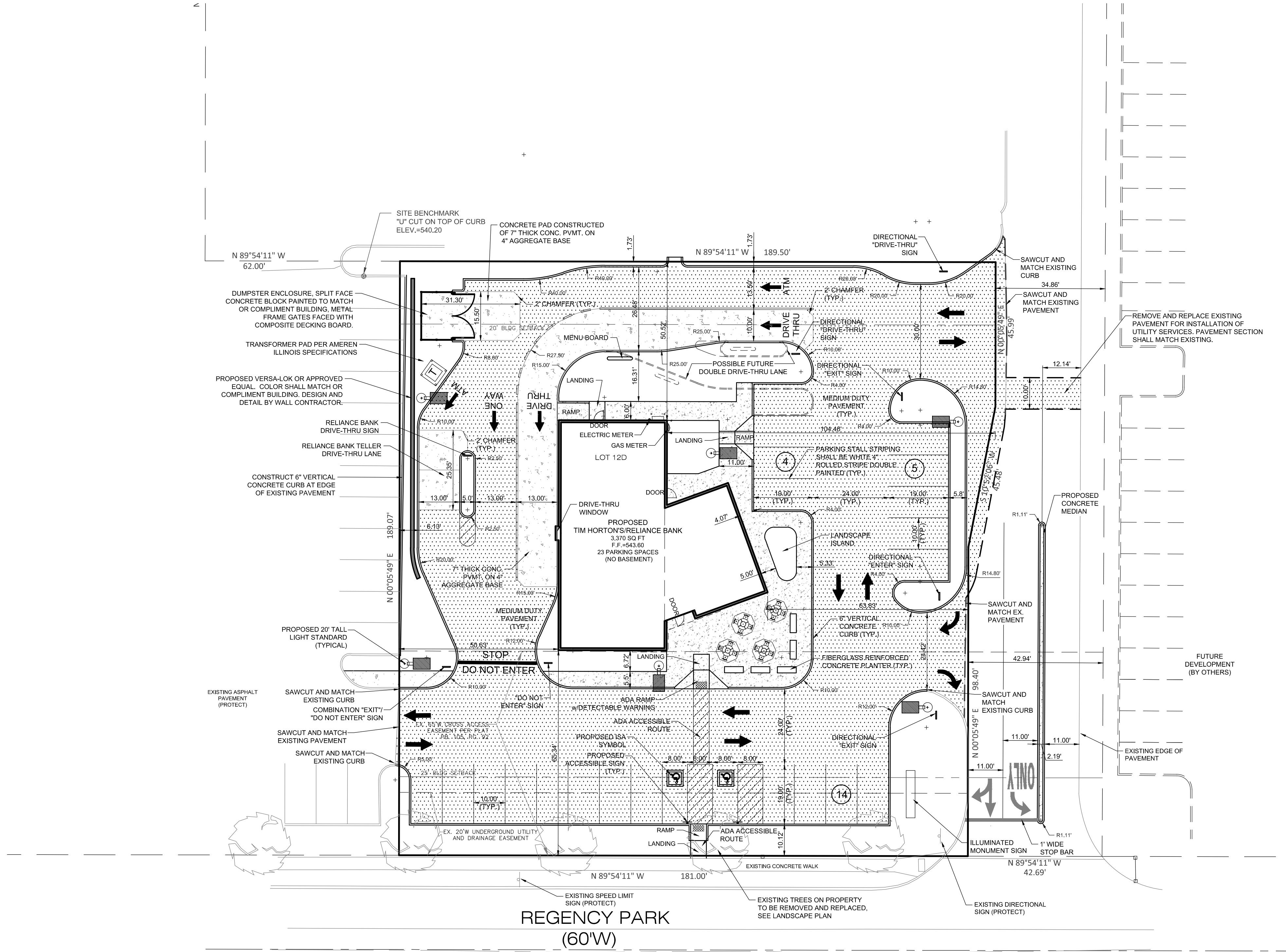
Checked By MTF



\\vault-pc\vault\CIVIL\_3D PROJECTS\2015\156801 - TIM HORTONS - O'Fallon, IL\COMMERCIAL\SITE PLAN\SITE PLAN.dwg



NOTE:  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.



#### SITE PLAN NOTES:

- PRESENT ZONING: B-1 (P) COMMUNITY BUSINESS DISTRICT
- SITE AREA = 0.80 ACRES
- PROPOSED USE - TIM HORTONS CAFE & BAKE SHOP AND RELIANCE BANK
- PROPOSED BUILDING HEIGHT - 19'-0"
- PROPOSED LIGHT POLE HEIGHT AT FINISHED GRADE - 20 FEET
- FRONT YARD - MINIMUM REQUIRED SETBACK, BUILDING: TWENTY-FIVE (25) FEET
- SIDE YARD - MINIMUM REQUIRED SETBACK, BUILDING: NONE (0) FEET
- REAR YARD - MINIMUM REQUIRED SETBACK, BUILDING: TWENTY (20) FEET
- PARKING - MINIMUM REQUIRED SETBACK: NONE
- REQUIRED BAKERY PARKING - (9 SPACES PER 1,000 SF) = 2,403 SF + 1,000 = 22 SPACES  
REQUIRED BANK PARKING - (4 SPACES PER 1,000 SF) = 967 SF + 1,000 = 4 SPACES  
TOTAL PARKING REQUIRED - 26 SPACES
- PROVIDED PARKING -

10'X19'	21 SPACES
ADA	2 SPACES
TOTAL	23 SPACES
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 17163C0210 D, PANEL 210 OF 555, ST. CLAIR COUNTY, ILLINOIS AND INCORPORATED AREAS DATED NOVEMBER 5, 2003 - THE PROPERTY IS IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF O'FALLON REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF O'FALLON SPECIFICATIONS.
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE LIGHTING SECTION OF THE CITY OF O'FALLON.
- SIDEWALKS ALONG ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20. SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAC), ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAC GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAC GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE CITY OF O'FALLON SPECIFICATIONS.
- SEEDING, SODDING, MULCHING, AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- ANY LAND DISTURBANCE ACTIVITY INVOLVING MORE THAN ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
- ALL HVAC AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE RIGHT-OF-WAY AND ADJACENT PARCELS.

#### PROPERTY DATA

OWNER	SHOW ME HOSPITALITY, LLC
ADDRESS	450 REGENCY PARK O'FALLON, IL 62269
PARCEL ID	03360204017
TOTAL	0.80 ACRES
FIRE DISTRICT	O'FALLON FIRE DISTRICT
ELECTRIC COMPANY	AMEREN ILLINOIS ELECTRIC
GAS COMPANY	AMEREN ILLINOIS GAS
SEWER DISTRICT	CASEVILLE TOWNSHIP
WATER COMPANY	CITY OF O'FALLON
TELEPHONE COMPANY	AT&T
CABLE TV COMPANY	CHARTER CABLE
FEMA MAP	17163C0210D - NOVEMBER 5, 2003

#### PAVEMENT NOTES

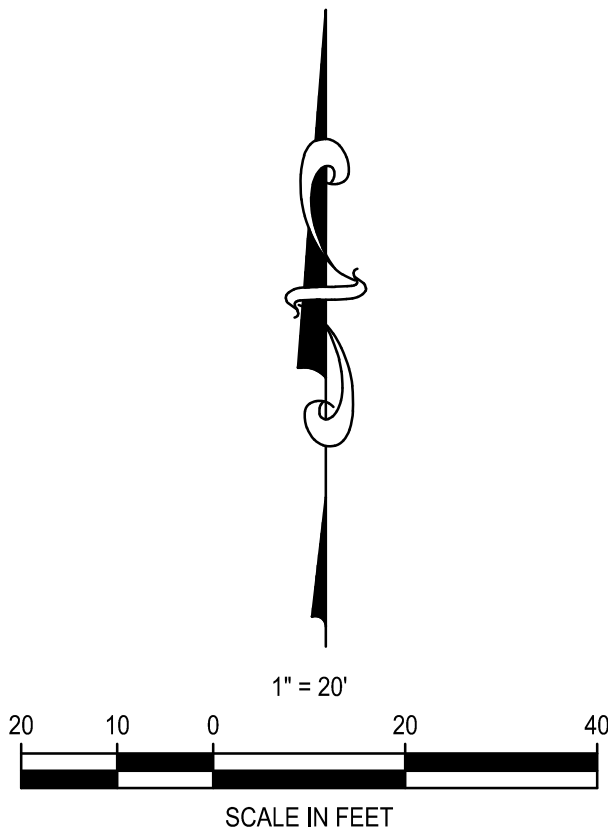
- ASPHALT PAVEMENT THICKNESS SHALL BE AS FOLLOWS:

1.5" TYPE "C" SURFACE COURSE	
3.5" TYPE "X" BINDER COURSE	
6" BASE ROCK	

OR ALTERNATE CONCRETE PAVEMENT
- CONCRETE PAVEMENT THICKNESS SHALL BE AS FOLLOWS:

6" PORTLAND CEMENT CONCRETE	
4" BASE ROCK	
- CONCRETE DUMPSTER PAD AND LOADING AREA PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON PLAN)

7" PORTLAND CEMENT CONCRETE	
4" COMPACTED GRANULAR BASE	
- THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING THE PROPOSED JOINTING PATTERN TO THE ENGINEER FOR REVIEW PRIOR TO CONCRETE PAVEMENT CONSTRUCTION
- THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT WHEN REPORT HAS BEEN COMPLETED BY GEOTECHNICAL ENGINEER.



**FoxArchitects**

Suite 1800  
63102  
Fax: 314.621.0261  
www.fox-arch.com

1 Memorial Drive  
St. Louis, Missouri  
Main: 314.621.4343  
fox@fox-arch.com

#### OWNER

Show Me Hospitality, LLC  
1254 Hanley Industrial Court  
St. Louis, MO 63114  
314.989.1000

#### MEP ENGINEERS (Design/Build)

SSC Engineering  
18207 Edison Avenue  
Chesterfield, MO 63005  
636.530.7770

#### CIVIL ENGINEERS

Premier Civil Engineering  
308 TOW Court  
Lake Saint Louis, MO 63367  
314.925.7444



Project  
Tim Hortons Cafe & Bake Shop  
and Reliance Bank  
450 Regency Park  
O'Fallon, IL 62269

Sheet Title  
**SITE PLAN**

Revisions

Date  
12/04/15

Sheet No.

**C-2**

Project No.  
1439.02

Drawn By  
DLS

Checked By  
MTF



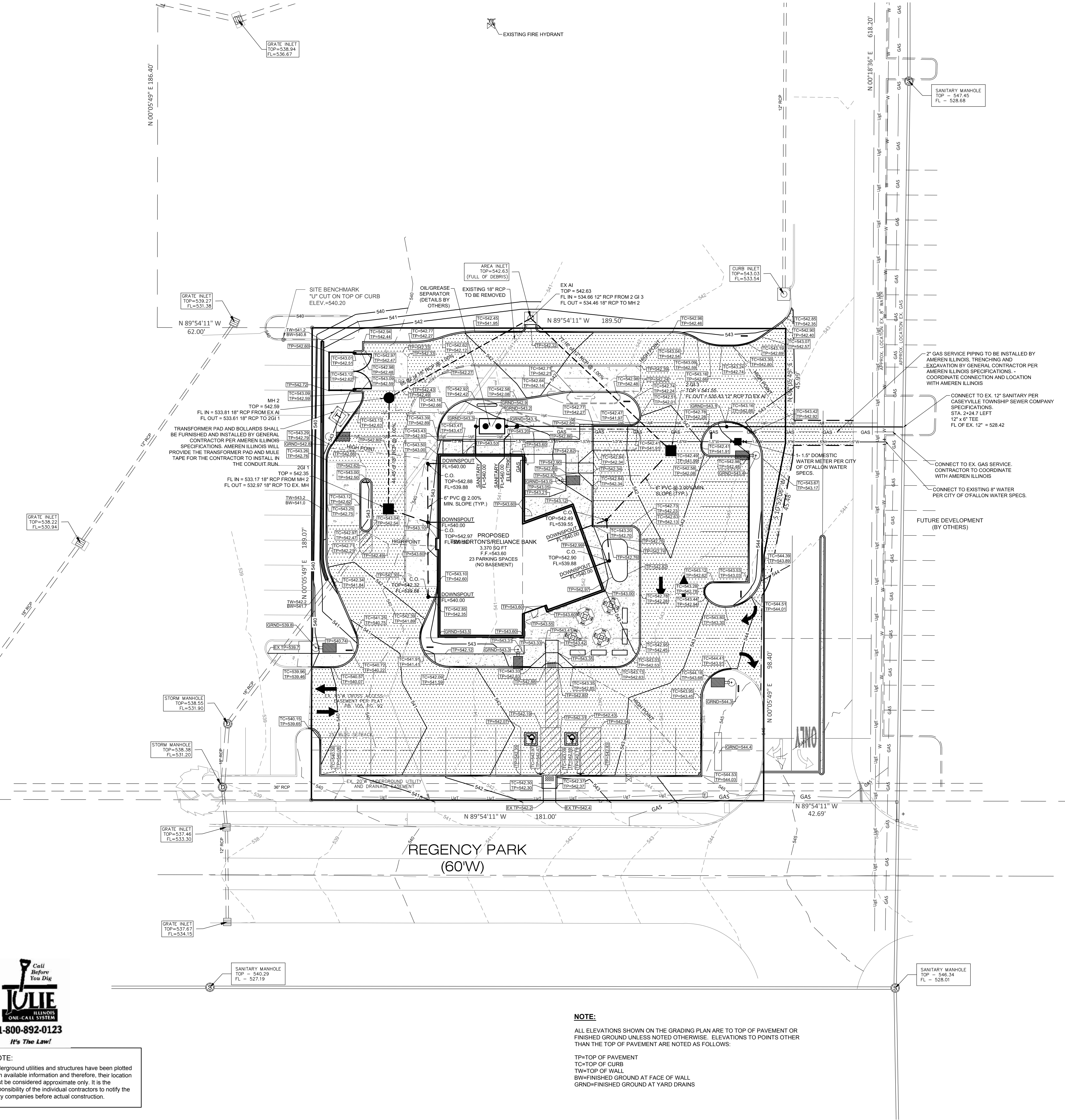
\\vault-pc\va\civil\3D PROJECTS\2015\156801 - TIM HORTONS - OFallon, IL\COMMERCIAL\SITE PLAN\UTILITY AND GRADING PLAN.dwg



NOTE:  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

**NOTE:**  
ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:

TP=TOP OF PAVEMENT  
TC=TOP OF CURB  
TW=TOP OF WALL  
BW=FINISHED GROUND AT FACE OF WALL  
GRND=FINISHED GROUND AT YARD DRAINS



#### GRADING NOTES:

1. THE CONTRACTOR SHALL RESTORE OFFSITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL GRADES SHALL BE WITHIN 0.1 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
3. NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SODDED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED OR DETAILED.
4. THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION AND TREES AND INCLUDING THE REMOVAL AND DISPOSAL OF SAME IN HIS BID.
5. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE OWNER.
6. SILTATION CONTROL WILL BE PROVIDED AS REQUIRED TO PREVENT RUN-OFF. SEE SILTATION CONTROL PLAN AND DETAILS.
7. ALL TRASH, DEBRIS, ORGANIC MATERIAL, REFUSE, FROZEN EARTH, ETC., SHALL BE REMOVED FROM FILL AREAS PRIOR TO THE PLACEMENT OF CONTROLLED FILL. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
8. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL PER THE EROSION AND SEDIMENT CONTROL PLAN AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES AS REQUESTED BY THE CITY OF OFALLON. SHOULD EROSION CONTROL PLAN PROVE TO BE INSUFFICIENT.
9. CARE SHALL BE EXERCISED IN COMPACTION OF BACKFILL MATERIALS OVER THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES, JOINTS, SEALS AND/OR THE PIPES AND STRUCTURES THEMSELVES. COMPACTION AND PLACING OF BACKFILL AND FILL MATERIALS SHALL BE PERFORMED UNDER THE CONTINUOUS SUPERVISION OF AN APPROVED TESTING LABORATORY. FILL SHALL NOT BE PLACED ON FROZEN GROUND, NOR SHALL FILLING OPERATIONS CONTINUE WHEN THE TEMPERATURE IS SUCH AS TO PERMIT THE LAYER UNDER PLACEMENT TO FREEZE.
10. ALL CITY, COUNTY, AND STATE ROADS SHALL BE KEPT FREE OF DIRT DAILY.
11. FINAL GRADES AT THE PROJECT BOUNDARY SHALL MATCH EXISTING ELEVATIONS UNLESS OTHERWISE SHOWN.
12. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH THE CITY OF OFALLON AND IEPA STANDARDS.
13. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF OFALLON AND IEPA STANDARDS.
14. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
15. ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE PERMIT FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN (1) ONE ACRE IS AN ORDINARY LAND DISTURBANCE AND THE APPROPRIATE PERMIT(S) MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
16. G.C. TO BE AWARE THAT A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAN APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
17. ALL UTILITY SPOOLS SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S BID. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR AND UTILITY INSTALLER.

#### UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-6" ON ALL SANITARY SEWER LINES.
4. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, FULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE CO.
5. EXISTING UTILITIES SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION OF ANY NEW LINES.
6. REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN LOCATIONS FOR UTILITIES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
9. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND AMEREN ILLINOIS FOR EXACT LOCATION OF GAS ENTRY. G.C. TO INCLUDE IN BID FOR CONTRACTOR: ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY AMEREN ILLINOIS.
10. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND AMEREN ILLINOIS FOR EXACT LOCATION OF ELECTRIC ENTRY. G.C. SHALL INCLUDE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY AMEREN ILLINOIS IN HISHER BID.
11. SEE MEP PLANS FOR GAS SERVICE SIZING.
12. ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
13. THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
14. THE EXISTING INLETS NOTED ARE TO BE INSPECTED BY THE CITY OF OFALLON AND A DETERMINATION MADE IF REPLACEMENT IS NEEDED. EXISTING TOP OF STRUCTURES AND ALL FLOWLINES OF STRUCTURES ARE TO BE REPLICATED PER PLANS IF REPLACEMENT IS REQUIRED. CONTRACTOR TO INCLUDE REMOVAL AND REPLACEMENT OF STRUCTURES IN BID.
15. ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
16. G.C. IS TO PROVIDE TRENCH, WIRE, AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES, BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION.
17. G.C. TO PROVIDE OPENING FOR ILLINOIS AMERICAN WATER COMPANY TO MAKE TAP. G.C. IS ALSO TO PROVIDE TRENCH, BACKFILL, AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
18. ALL LANDSCAPE ISLANDS AND GREEN SPACE INCLUDING THE RIGHT-OF-WAY, SHALL BE IRRIGATED. SEE LANDSCAPE PLAN FOR AREAS TO BE IRRIGATED.
19. THE CONTRACTOR SHALL INCLUDE FOR TELEPHONE INSTALLATION COSTS BY THE LOCAL PHONE COMPANY IN HISHER BID.
20. THE CONTRACTOR SHALL INCLUDE THE COST ESTIMATE PROVIDED BY AMEREN ILLINOIS IN HISHER BID FOR THE RELOCATION OF ANY OVERHEAD ELECTRIC OR GUY WIRES.
21. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE CITY OF OFALLON PUBLIC WORKS DEPARTMENT FOR THE PROPOSED STORM AND SANITARY INFRASTRUCTURE FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
22. ANY DISTURBED SIDEWALK SHALL BE FULL SLAB REPLACEMENT.
23. EXISTING SANITARY SERVICE SHALL NOT BE INTERRUPTED.
24. IRRIGATION PLAN WILL BE BY OTHERS. ALL REQUIRED CONDUIT UNDERNEATH THE PAVEMENT SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND INSTALLED PRIOR TO CURB AND PAVEMENT INSTALLATION.
25. ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY THE CITY OF OFALLON WATER.
26. CONNECTION TO PUBLIC SEWER MAINS SHALL BE AS REQUIRED BY CASEYVILLE TOWNSHIP SANITARY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROVIDER PRIOR TO CONNECTION TO PUBLIC SEWERS.

**FoxArchitects**

Suite 1800  
63102  
Fax: 314.621.0261  
www.fox-arch.com

1 Memorial Drive  
St. Louis, Missouri  
Main: 314.621.4343  
fox@fox-arch.com

#### OWNER

Show Me Hospitality, LLC  
1254 Hanley Industrial Court  
St. Louis, MO 63114  
314.989.1000

#### MEP ENGINEERS (Design/Build)

SSC Engineering  
18207 Edison Avenue  
Chesterfield, MO 63005  
636.530.7770

#### CIVIL ENGINEERS

Premier Civil Engineering  
308 TOW Court  
Lake Saint Louis, MO 63367  
314.925.7444



Project  
Tim Hortons Cafe & Bake Shop  
and Reliance Bank

Revisions

Date  
12/04/15

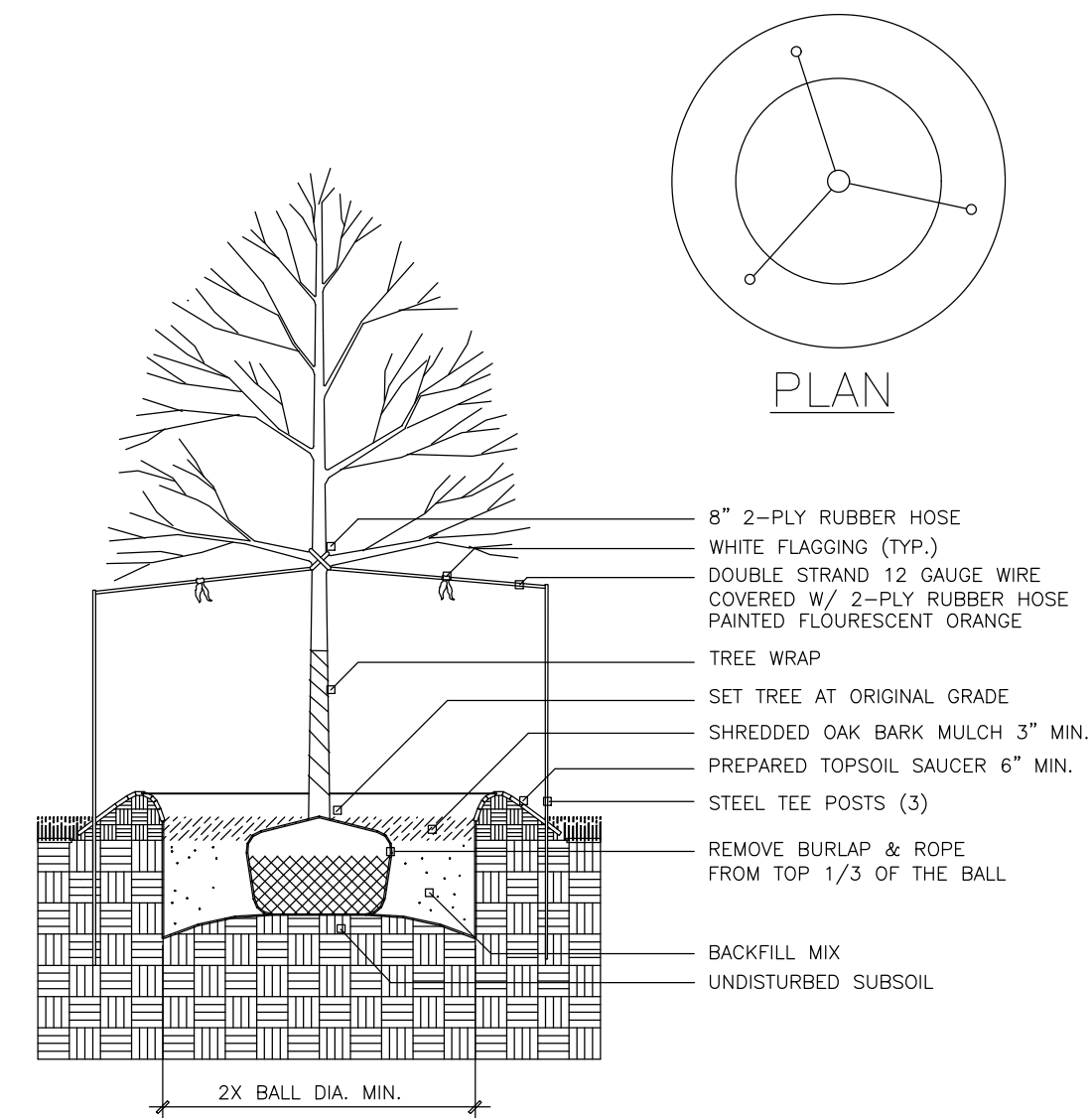
Sheet No.

Project No.  
1439.02  
Drawn By  
DLS  
Checked By  
MTF

UTILITY AND GRADING PLAN

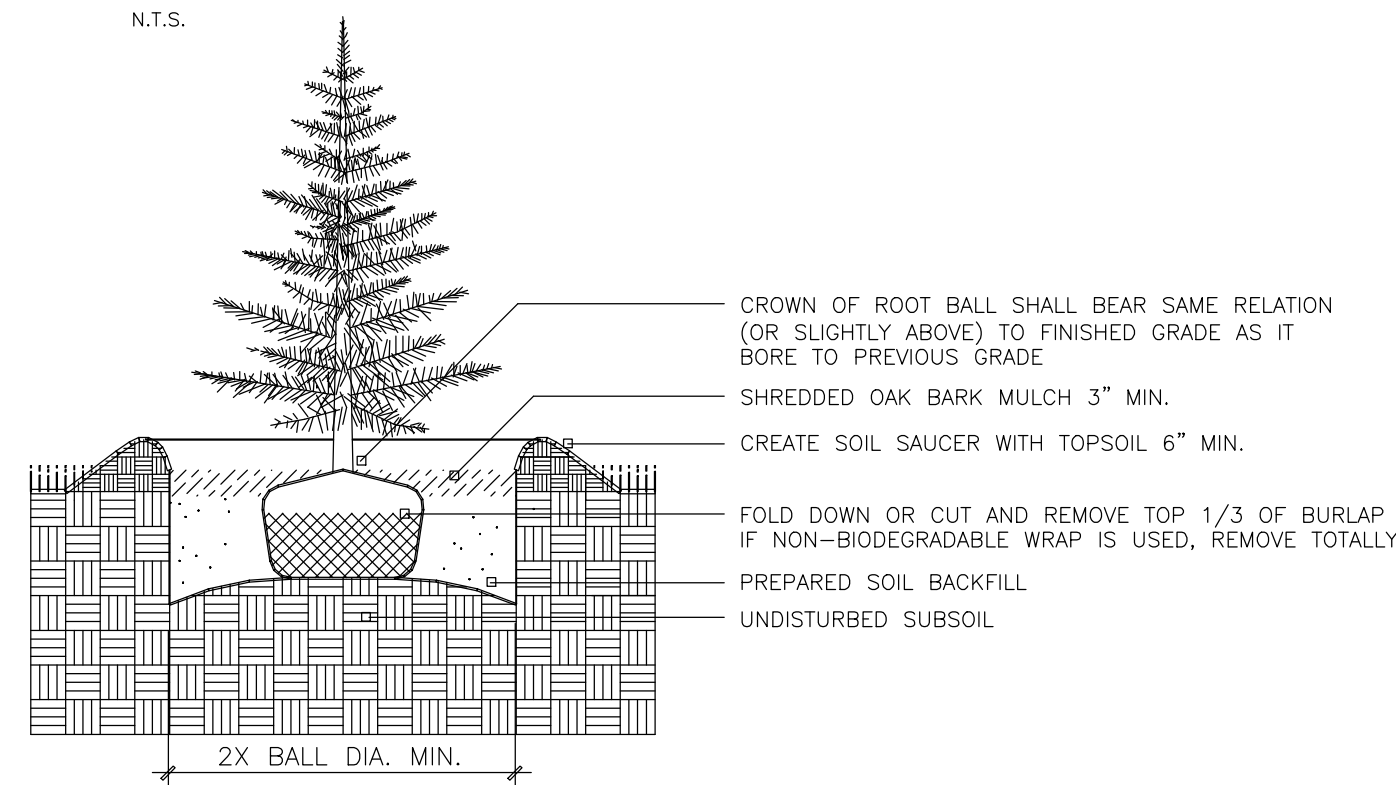
C-3





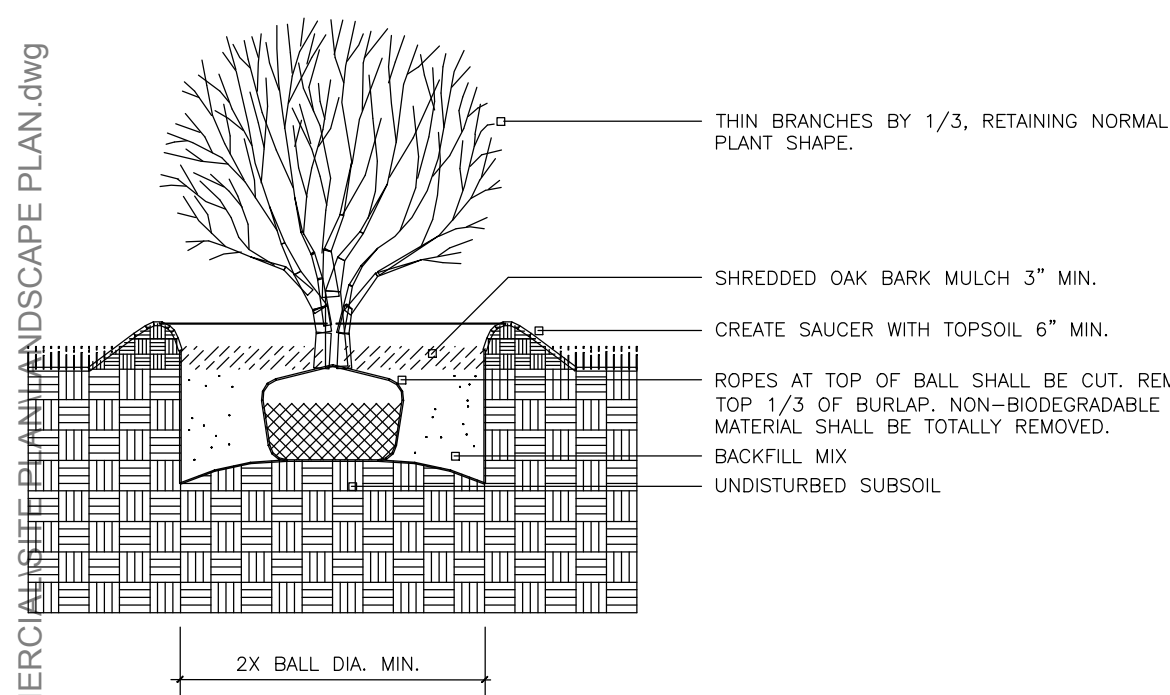
### DECIDUOUS TREE PLANTING DETAIL

N.T.S.



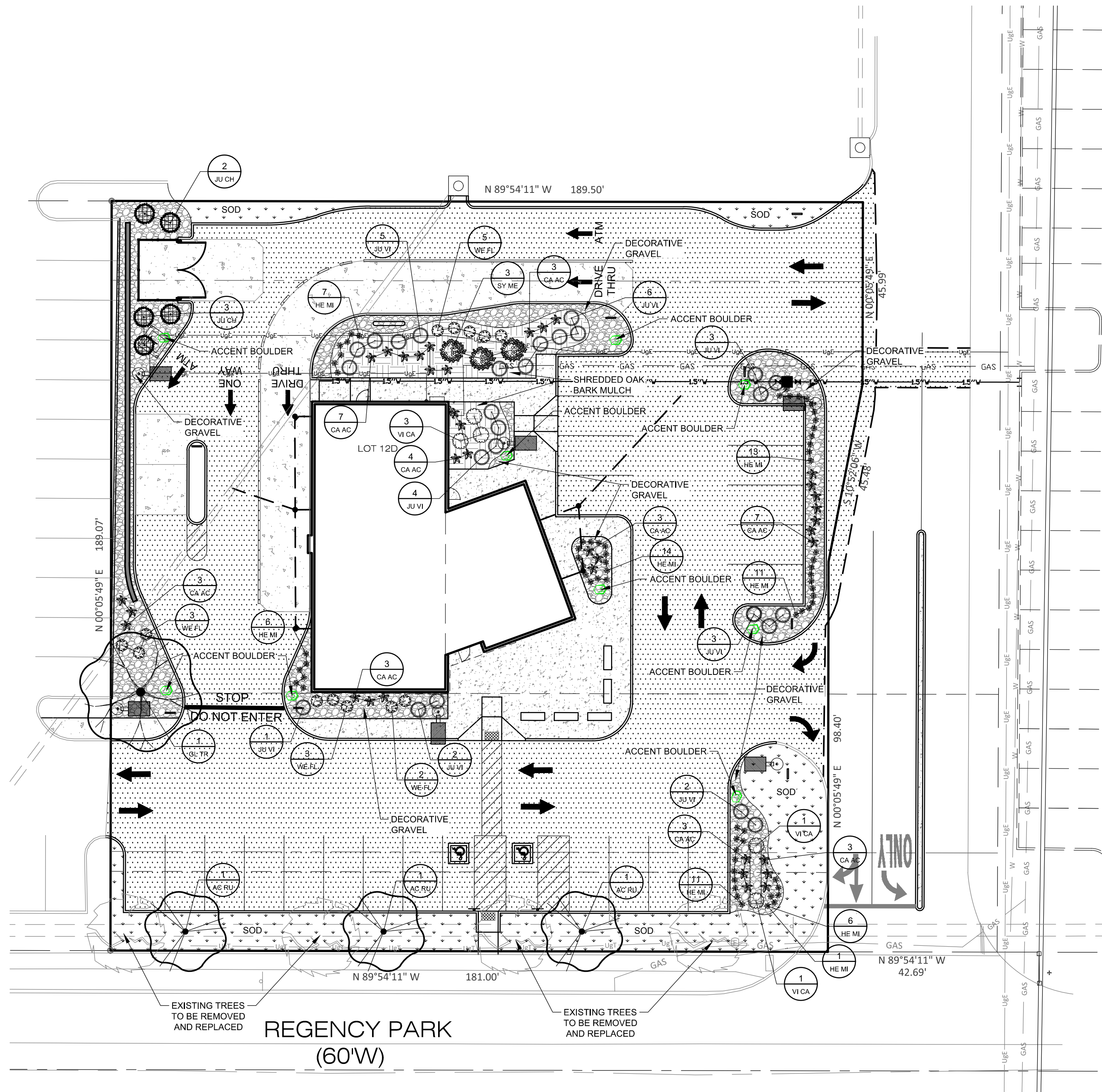
### EVERGREEN TREE PLANTING DETAIL

N.T.S.



### SHRUB PLANTING DETAIL

N.T.S.



### PLANT SCHEDULE

TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	AC RU	3		Acer rubrum 'October Glory'	OCTOBER GLORY MAPLE	B & B	1.5"-2.0"	8' H X 10' W
	GL TR	1		Gleditsia triacanthos 'Skyline'	SKYLINE HONEY LOCUST	B & B	1.5" CAL	6'-7'
	JU CH	5		Juniperus chinensis 'Keteleeri'	KETELEERI CHINESE JUNIPER	B & B		4-6"
SHRUBS		CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
	CA AC	36		Calamagrostis x acutiflora 'Karl Foerster'	FEATHER REED GRASS	5 GAL		
	HE MI	68		Hemerocallis middendorffii	DAYLILY	1 GAL		
	JU VI	27		Juniperus virginiana 'Grey Owl'	EASTERN REDCEDAR	5 GAL		
	SY ME	3		Syringa meyeri 'Palibin'	DWARF KOREAN LILAC	5 GAL		
	VI CA	5		Viburnum carlesii 'Compactum'	KOREAN SPICE VIBURNUM	5 GAL		
	WE FL	13		Weigela florida 'Dark Horse'	WEIGELA	5 GAL		

### LANDSCAPE GUIDELINE SPECS.

#### GENERAL:

- All landscape material shall conform to the City of O'Fallon, IL standards.
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing vegetation or structures from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to the public.
- The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently shown or known. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of all utilities. (Call JULIE, 1-800-892-0123)
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to a depth of 6" minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- It shall be the landscape contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the landscape architect prior to acceptance. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.
- All plant material to be transplanted shall be in accordance to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

#### INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

#### MULCH:

- All mulch to be shredded oak bark mulch at 3" depth after compaction (unless otherwise noted). Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded oak bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds.
- Landscape beds that have decorative gravel and mulch within the same area, and landscape beds not bordered by concrete curbing or walks shall be edged with permaloc aluminum landscape edging, proline series, color black.

#### MAINTENANCE:

- Landscape contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.

#### TOPSOIL:

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the percentage (%) of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded oak bark mulch.

#### MISC. MATERIAL:

- Provide stakes and deadman of sound, new hardwood, free of knotholes and defects.
- Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

#### TURF:

- All disturbed lawn areas to be sodded with a turf-type fescue, cut at a uniform thickness of  $\frac{3}{4}$ ". No broken pieces, irregular pieces or torn pieces will be accepted. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by contractor's operations including equipment/ material storage and movement of vehicles.
- Sod contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.
- Off-site land disturbed shall be sodded.

#### SIGHT TRIANGLES:

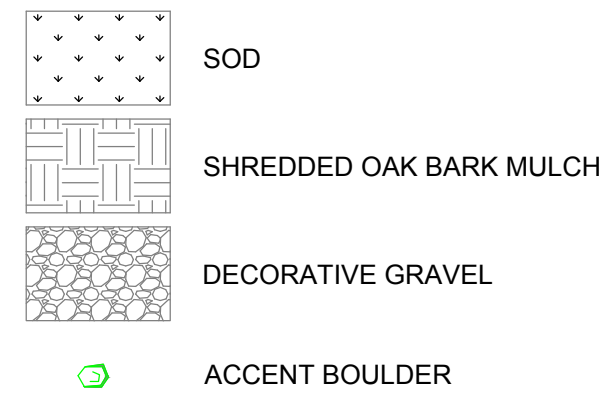
- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- The triangle adjacent to street intersections shall be formed by measuring from the point of intersection of the front and side lot lines a distance of 20' minimum along said front and side lot lines and connecting the points so established to form the sight triangle area.

#### WARRANTY:

- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for the plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.

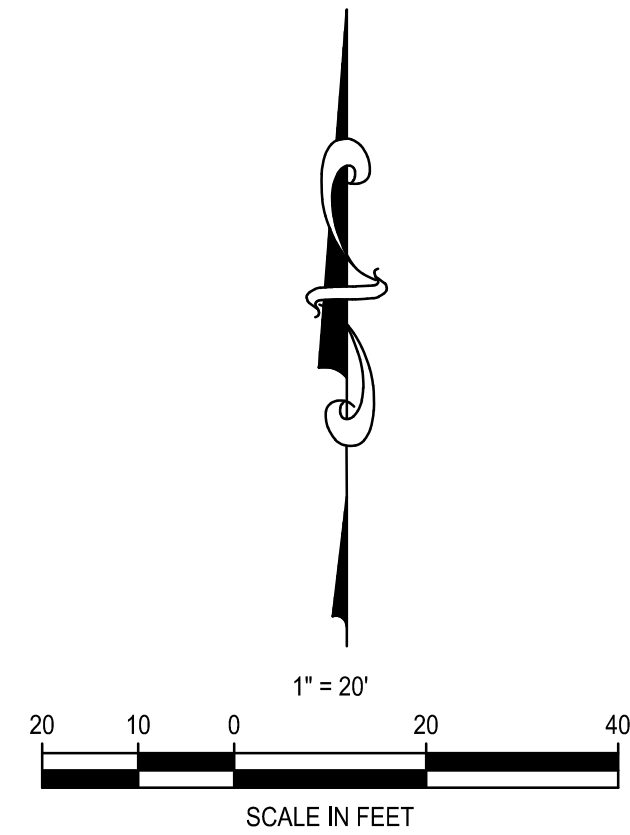
#### IRRIGATION:

- This site shall not have irrigation.



#### Note:

Shredded Oak Bark Mulch to be used for all planting beds and rings around trees (per detail) 3 inches thick after compaction.



\\vault-pc\va\civil\3D PROJECTS\2015\156801 - TIM HORTONS - O'Fallon, IL\COMMERCIAL\TREE PLANTING\LANDSCAPE PLAN.dwg



NOTE:  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

**FoxArchitects**

Suite 1800  
63102  
St. Louis, Missouri  
Main: 314.621.1343  
Fax: 314.621.0261  
fox@fox-arch.com  
www.fox-arch.com

#### OWNER

Show Me Hospitality, LLC  
1254 Hanley Industrial Court  
St. Louis, MO 63114  
314.989.1000

#### MEP ENGINEERS (Design/Build)

SSC Engineering  
18207 Edison Avenue  
Chesterfield, MO 63005  
636.530.7770

#### CIVIL ENGINEERS

Premier Civil Engineering  
308 TOW Court  
Lake Saint Louis, MO 63367  
314.925.7444



Project  
Tim Hortons Cafe & Bake Shop  
and Reliance Bank  
450 Regency Park  
O'Fallon, IL 62269  
Sheet Title  
LANDSCAPE PLAN

#### Revisions

Date  
12/04/15  
Sheet No.

Project No.  
1439.02  
Drawn By  
DLS  
Checked By  
MTF



# City of O'Fallon P&Z

## Floor Plan

### Parking Calculations

Bakery	Bank
2,403 GFA	967 GFA
9/1000 Parking	4/1000 Parking
21.6 spaces	+ 3.9 spaces = 25.5 (26)

### Occupancy Calculations (restrooms)

Bakery	Bank
1,091 GFA	902 GFA
Equipment	B-Business
200 sf/p = 5.46 p	100 sf/p = 9.02 p

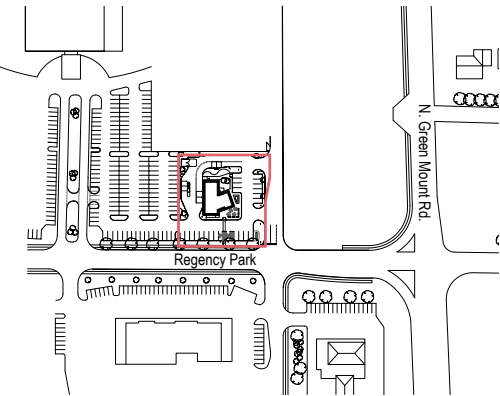
A2 Restaurant  
844 GFA  
15 sf/p = 65.27 p

None Occupied Spaces  
468 + 65 = 533 GFA  
0 sf/p = 0 p

Total People 70.75 p (71)

### Building

3,370 GFA  
46 Seats Shown



A8

FoxArchitects

December 03, 2015 | ©2015 Fox Architects



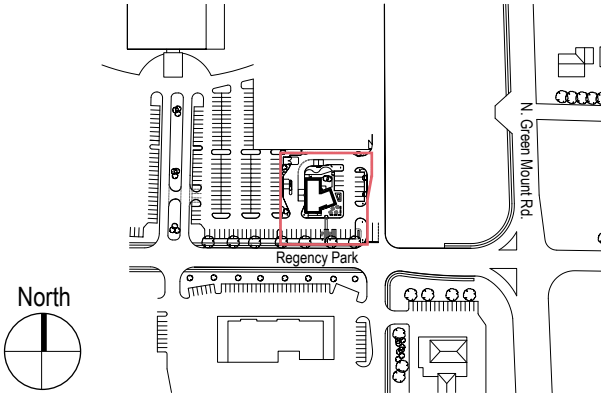


# City of O'Fallon P&Z

## Site Design

Keyed Notes:

- 1. Internally illuminated monument, see detail.
- 2. Internally illuminated buildings sign, TH logo.
- 3. Not shown this view.
- 4. Internally illuminated buildings sign, Bank logo and text.
- 5. TH internally illuminated menu boards.
- 6. Patio seating with TH logo umbrellas.
- 7. Standard TH buff color thin brick.  
MFR: Endicott Thin Brick and Tile LLC  
Product: Thin Brick  
Color: Light Sandstone Velour
- 8. Standard TH stone veneer.  
MFR: Versetta Stone  
Product: Boral Stone  
Color: Terra Rosa
- 9. EIFS final coat to match TH French Roast.  
MFR: Sherwin Williams  
Number: SW6069  
Color: French Roast
- 10. Bank teller drive-thru.
- 11. RTU's are screen from primary street views by EIFS sign bands.
- 12. Trash enclosure; split face concrete block painted; to match TH French Roast with metal frame gates faced with composite decking board.  
MFR: ArmorGuard 1x6  
Product: Composite Decking Board  
Color: Brazilian Walnut
- 13. New ADA Access Curb Cut.
- 14. Donut Delivery Parking.





# City of O'Fallon P&Z

## Building Design

Building design to standard TH store adds stone to building entry equally on the bakery side and bank side. Tim Hortons standards for sign bands and branding elements in the "French Roast" color are expressed in an EIFS finish coat to accommodate the city of O'Fallon's requirements. Stone is added at the base under the EIFS material throughout the exterior envelope of the building. Thin brick "Tera Rosa" is used as the primary exterior building material.



Top view is from southeast street corner at entry



View to right is from southwest site corner at Drive-Thru





# City of O'Fallon P&Z

## Building Design

- Keyed Notes:
1.

Internally illuminated monument sign, see detail.
2.

Internally illuminated building sign, TH logo.
3.

Internally illuminated building sign, TH text.
4.

Internally illuminated building sign, Bank logo and text.
5.

TH internally illuminated menu boards.
6.

Patio seating with TH logo umbrellas.
7.

Standard TH buff color thin brick.  
MFR: Endicott Thin Brick and Tile LLC  
Product: Thin Brick  
Color: Light Sandstone Velour
8.

Standard TH stone veneer.  
MFR: Versetta Stone  
Product: Boral Stone  
Color: Terra Rosa
9.

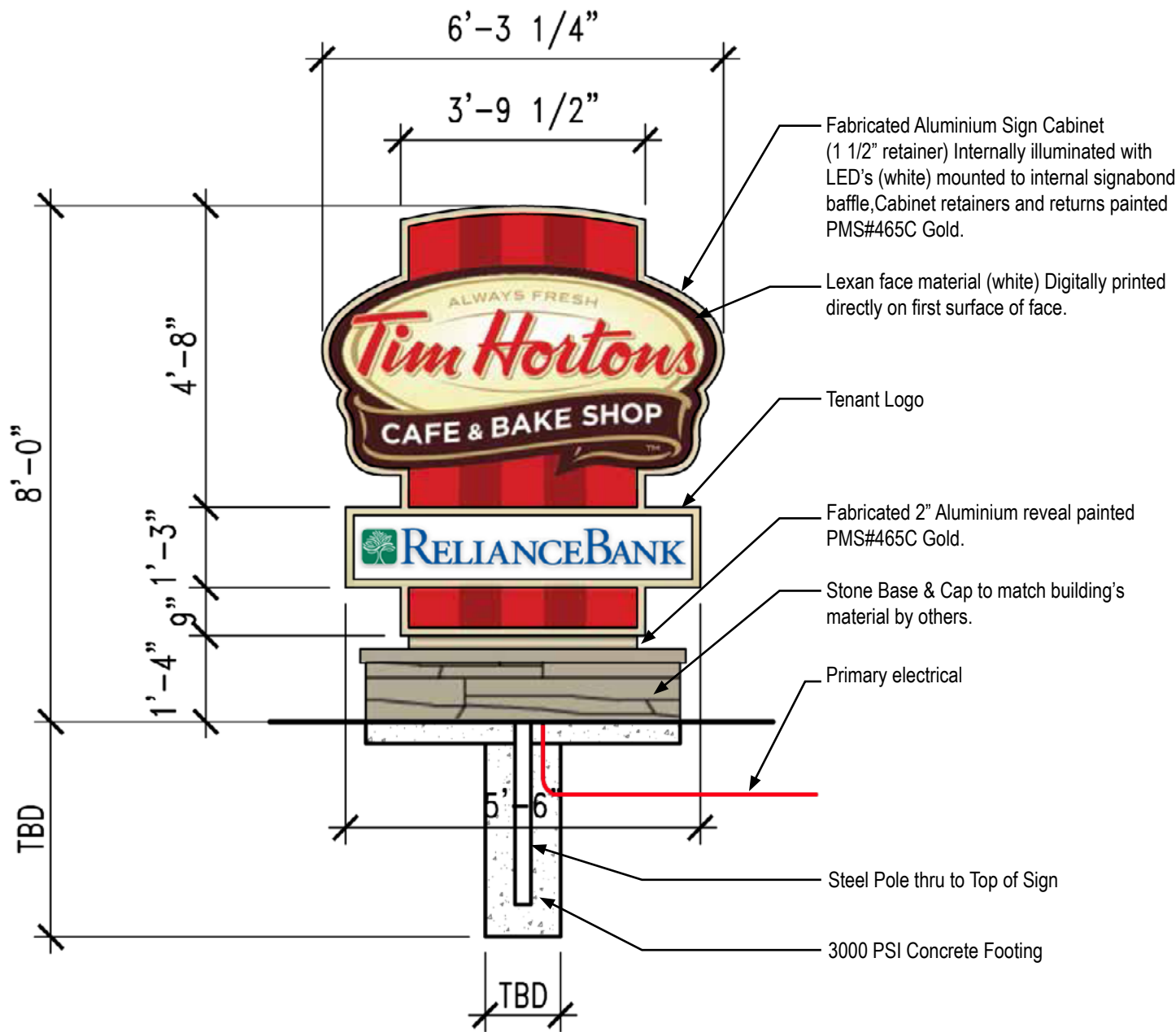
EIFS final coat to match TH French Roast.  
MFR: Sherwin Williams  
Number: SW6069  
Color: French Roast
- (Refer to previous sheets for keyed notes 10-14)

Top view is from northeast corner of site at Bank Drive-Thru

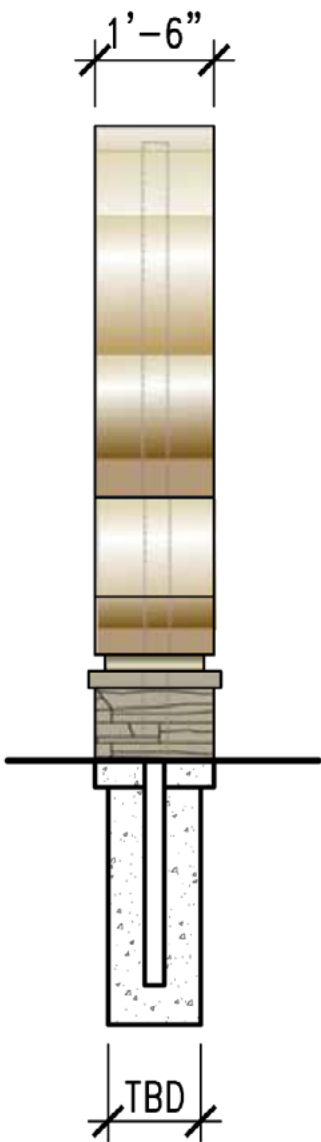
View to right is from northwest corner of site at Bakery Drive-Thru







**Monument Sign Elevation**  
Scale: NTS









**Side Elevation**  
Scale: NTS

**Sign Area Calculation:**  
(Frontage 178') x 0.4= 71.2 SQ FT Sign  
Proposed Sign = 39 SQ FT Sign (including base)

Electrical Detail: Logo Cabinet
(6) White LED Light engines, Permlight Linearray 6500K (2) 150w Drivers GLED150-350LC @ 1.40 amps each Total Amps: 2.80 (1) 20 amp 120V Circuit Req.

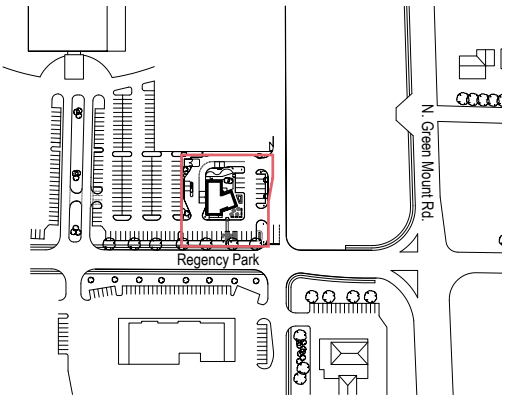
General Electrical Notes:
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.
1) Grounded and bonded per NEC 600.7/NEC 250
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
3) Sign is to be UL listed per NEC 600.3
4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer* *For multiple signs, a disconnect is permitted but not required for each section
5) Electrical feed to be supplied by general contractor

Type:	Tim Horton's
Monument Sign	
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	39

Color Specifications:	
 Pantone #465C Gold	 Pantone #485C Red
 Pantone #9120C Cream (Gradient)	 Pantone #7622C Dark Red
 Pantone #4975C Dark Brown	 White

Specifications
See elevation detail

MODEL#
KEY-MON



# City of O'Fallon P&Z

## Signage Calculations



West Elevation at Drive-Thru

Total West Elevation at Drive-Thru is  
1,145.90 sf  
Tim Hortons Sign is 27.51 sf



South Elevation facing Regency Park

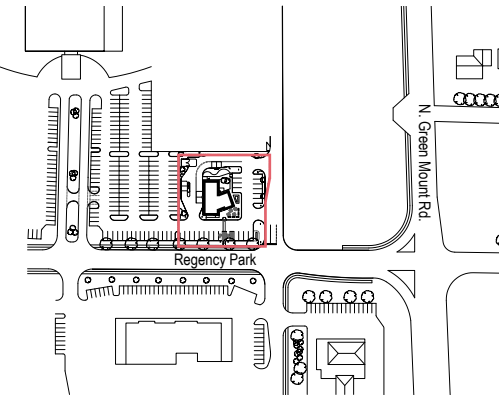
Total South Elevations facing Regency Park is  
1,194.14 sf  
Tim Hortons Sign is 32.58 sf  
Reliance Bank Sign is 30.30 sf



East Elevation facing Outer Road

Total East Elevation facing the Outer Road is  
1,225.28 sf  
Tim Hortons Sign is 32.58 sf  
Reliance Bank Sign is 21.44 sf  
Tim Hortons Sign is 32.58 sf

Building  
3,370 GFA



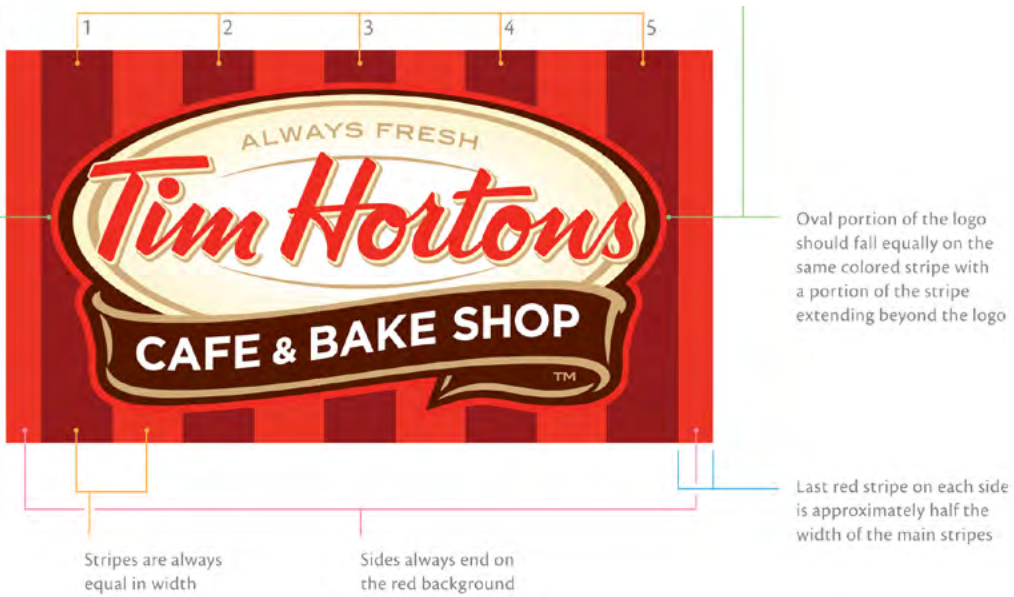


# City of O'Fallon P&Z

## Tim Hortons Signage Standards

Gotham Book  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890

Gotham Bold  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890



Note; directional signage is not internally illuminated



### Pantone® Matching System (PMS)

Pantone 485C Pantone 7622C Pantone 4975C Pantone 465C Pantone 9120C

### CMYK Equivalents

00 Cyan	15 Cyan	36 Cyan	07 Cyan	06 Cyan
93 Magenta	95 Magenta	84 Magenta	27 Magenta	02 Magenta
95 Yellow	96 Yellow	59 Yellow	55 Yellow	28 Yellow
09 Black	39 Black	83 Black	22 Black	00 Black

### RGB Equivalents

239 Red	141 Red	52 Red	190 Red	240 Red
56 Green	28 Green	00 Green	153 Green	237 Green
41 Blue	21 Blue	12 Blue	105 Blue	195 Blue

### Vinyl- Awning Color

3M™ Tomato Red 180C-13, 7725-13 7125-13	3M™ Deep Red 180C-23, 7725-63 7125-23
--	--

### PMS Option



TH Red TH Dark Red

Pantone 485C Pantone 7622C



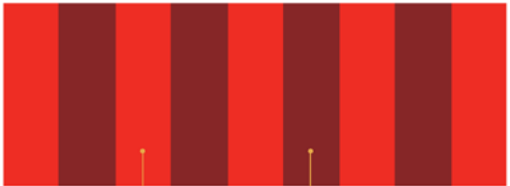
Pantone 485C Pantone 7622C

### CMYK Overprint Option



TH Brown TH Red TH Dark Red

15 Cyan	00 Cyan	15 Cyan
34 Magenta	93 Magenta	95 Magenta
24 Yellow	95 Yellow	96 Yellow
33 Black	09 Black	39 Black



00 Cyan	15 Cyan
93 Magenta	95 Magenta
95 Yellow	96 Yellow
09 Black	39 Black

### Awning Vinyl

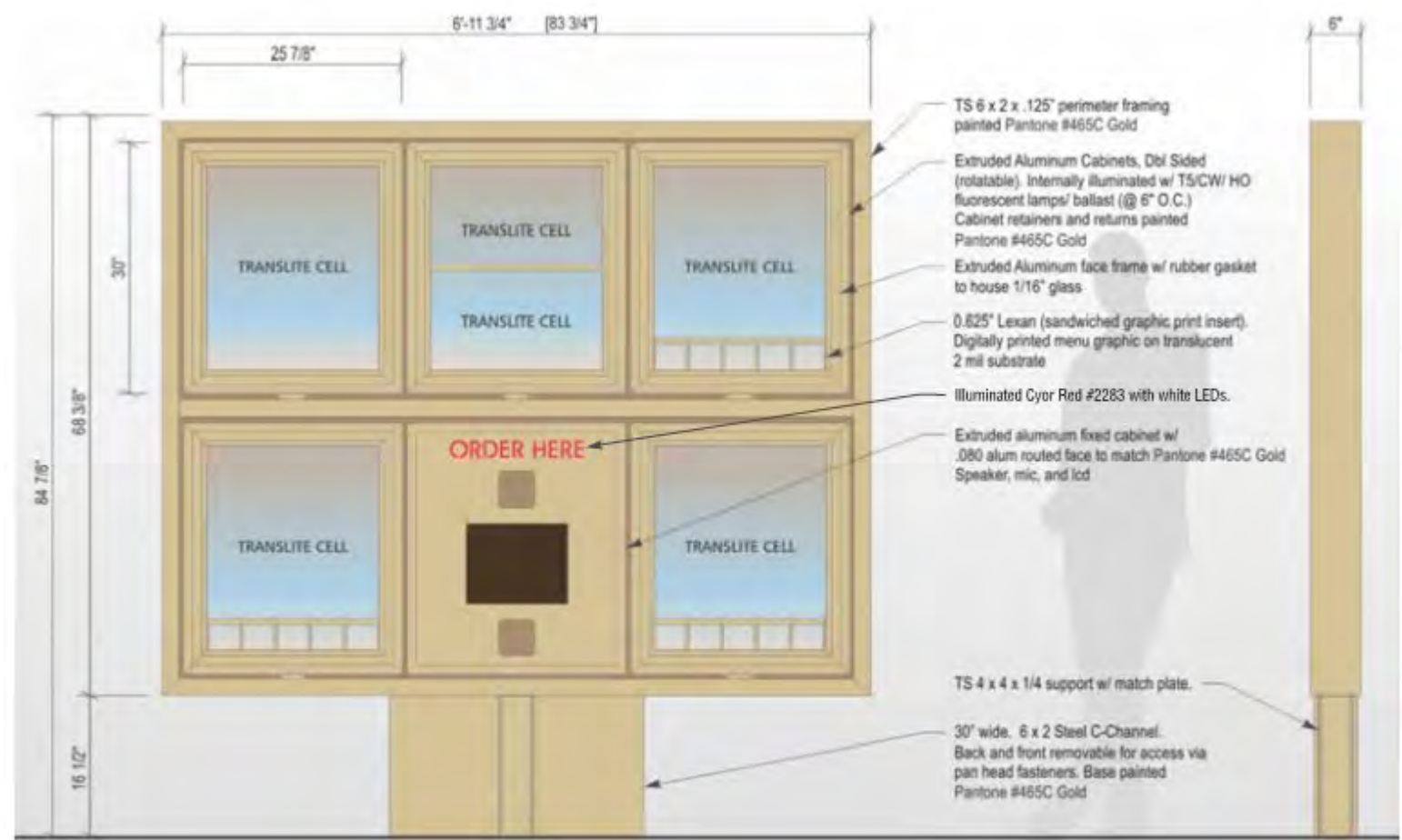
3M



3M™ TH Red Tomato Red 180C-13, 7725-13 7125-13	3M™ TH Dark Red Deep Red 180C-23, 7725-63 7125-23
---	--



3M Tomato Red 3M Deep Red



Menu Board Elevation  
Scale: NTS

Side Elevation  
Scale: NTS

Type:	Drive-Thru Menu Board
	(6) Panel Menu Board w/ Comm System. Extruded aluminum construction
Illumination:	Internal Fluorescent Lamp
Actual Size:	67 5/8" H x 83 3/4" W overall
Square Footage:	39.77

Color Specifications:	
 Pantone #465C Gold	 Cyro Red #2283

