

CITY OF O'FALLON

GARY L. GRAHAM

Mayor

PHILIP A. GOODWIN

City Clerk

Walter Denton
City Administrator

DAVID H. HURSEY

City Treasurer

ALDERMAN

Gene McCoskey Ward 1 Matt Smallheer Ward 4

Richie Meile Ward 1 Michael Bennett Ward 5

Jerry Albrecht Ward 2 Courtney Marsh Ward 5

Robert Kueker Ward 2 Ray Holden Ward 6

Jerry Mouser Ward 3 Ned Drolet Ward 6

Kevin Hagarty Ward 3 David Cozad Ward 7

Herb Roach Ward 4 Harlan Gerrish Ward 7

CITY COUNCIL MEETING

A G E N D A

Monday, December 21, 2015
7:00 P.M. – Council Chambers

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. APPROVAL OF MINUTES – [December 7, 2015](#)

V. PUBLIC HEARING –

VI. REPORTS

A. Residents of O'Fallon – This portion of the City Council meeting is reserved for any resident wishing to address Council. The Illinois Open Meetings Act (5 ILCS 120/1) mandates NO action shall be taken on matters not listed on this agenda, but Council may direct staff to address the topic or refer the matter to a committee. Please provide City Clerk with name & address; speak into microphone; limit presentation to 3 minutes; and avoid repetitious comments. Thank you.

B. Clerk's Report

1. Request by Lifelong Music to conduct a raffle for cash on January 21, 2016
2. Requests from American Legion Post 137 to conduct three separate raffles from December 22, 2015 - February 29, 2016 for a television and cash, one from December 22, 2015 – November 30, 2016 for cash and one from January 7, 2016 – December 31, 2016 for cash
3. Requests from O'Fallon Moose Lodge 2608 to conduct three separate raffles from January 7, 2016 – December 29, 2016 for Split the Pot cash, one from January 7th – December 29, 2016 for cash and one from January 29, 2016 – December 30, 2016 for cash

C. Mayor's Report

VII. RESOLUTIONS –

ITEM 1 – Resolution authorizing execution of a service agreement with the lowest responsible bidder for the supply of electricity for residential and small commercial retail customers who do not opt out of such a program

VIII. ORDINANCES

A. 1st reading –

ITEM 2 – Ord. Approving the Final Plat of Bethel Farms - Phase 1

ITEM 3 – Ord. amending Ord. 623, Zoning, development known as “Tim Horton’s and Reliance Bank” located at 450 Regency Park

B. 2ND Reading –

ITEM 4 - Ord. providing for the Annual Levy for the fiscal year commencing on the first day of May 1, 2015 and ending on the thirtieth day of April 2016

ITEM 5 – Ord. amending Ord. 623, Zoning, for 399 North Seven Hills Road

ITEM 6 – Ord. amending Ord. 623, Zoning, development known as Stone Bridge Estates located in the previously approved Stone Bridge Master Development Plan

ITEM 7 – Ord. amending Ord. 623, Zoning, development known as Academy Sports located at 1574 West Highway 50

IX. STANDING COMMITTEES

1. Community Development – *Minutes attached*

2. Public Works

3. Public Safety – *Minutes attached* – **Motion** approving the purchase of a 2016 Ford F-450 ambulance to replace the ambulance that was totaled on November 17, 2015

4. Finance and Administration

A) **Motion** to approve **Warrant #339** in the amount of \$645,127.96

5. Parks/Environment

X. EXECUTIVE SESSION – Occasionally, the Council may go into closed session in order to discuss such items covered under 5 ILCS 120/2 (b) which are as follows: Legal Matters; Purchase, Lease or Sale of Real Estate; Setting of a price for sale or lease of property owned by the public body; Employment/appointment matters; Business matters or Security/criminal matters and may possibly vote on such items after coming out of closed session.

XI. ACTION TAKEN ON EXECUTIVE SESSION ITEMS

XII. ADJOURNMENT

**O'FALLON CITY COUNCIL
MINUTES OF THE REGULAR COUNCIL MEETING
Draft December 7, 2015**

The regular meeting was called to order at 7:00 p.m. by Mayor Gary Graham who led the Council in "The Pledge of Allegiance."

Philip Goodwin, City Clerk, called the roll: Gene McCoskey, excused; Richie Meile, present; Jerry Albrecht, excused; Robert Kueker, present; Jerry Mouser, present; Kevin Hagarty, present; Herb Roach, present; Matthew Smallheer, present; Michael Bennett, present; Courtney Marsh, present; Ray Holden, present; Ned Drolet, present; David Cozad, present; Harlan Gerrish, present. A quorum was declared present.

APPROVAL OF MINUTES: Mayor Graham asked for approval of the minutes. Motion was made by K. Hagarty and seconded by J. Mouser to approve the minutes of November 16, 2015. All ayes. Motion carried.

PUBLIC HEARING – At 7:01 p.m., Mayor Graham opened the public hearing for the annexation agreement with Clarence Robb and Reta Phillips for approximately 44.54 acres located at 10458, 10464, and 10470 Rieder Road, Lebanon, 04-23.0-400-007; 04-23.0-400-010; and 04-23.0-400-011. He called three times for public input, but no one came forward. He closed the hearing at 7:02 p.m.

RESIDENTS: Mayor Graham asked if anyone wished to come forward to speak to the Council.

John Drolet questioned the levy change, as there is a 240% raise above what was discussed at the committee meeting. He asked that the staff go over some points before he asked questions.

W. Denton responded that the reason was that we did not know the all of the discussion about the property tax freeze and time frames. We did not have text of the proposed bill. We want to ensure that the service level stays in-tact. There is uncertainty with the State, as there is a proposed property tax freeze. The police pension, IMRF, fire department, ambulance and Social Security come from the property tax. We want the flexibility. The plan is to be able to pay tax on these areas. Across the State, other municipalities have talked about increasing the levy and then abating back in March the money that we were going to use for that year. This was a decision of local control for our community. We have a great bond rating, as we have a good cushion. Our bonds are so marketable, as we are able to pay off the bonds, as it is based on the property tax. We have really low rates. As a non-home rule city, the maximum ceiling is 2.3., but we are able to be more flexible. Our intention is to collect the same amount of money that was proposed at the committee meeting. In March, we will get the final EAV numbers from the County. We plan to abate back, so the results will be virtually the same.

Mayor Graham asked how much we went down this year because of the new law. S. Evans replied the law affected the VA, they get 100% exemption which is \$18.5 million dollars less in EAV. Our EAV goes up every year, so it did balance the others out. It will be two million instead of \$20 million dollars. The IMRF, Social Security, and Library were increased per law.

W. Denton said the intention is to give the Council the ability to plan ahead for the future. We do not know what the State is going to do. Mayor Graham asked who would make the final decision, and W. Denton replied that the Council will make the final decision on how much they want to abate.

H. Roach said that one of the proposals from the State had exemptions. He said this is the highest tax rate in twenty years. W. Denton said the County determines what the rate is, as it depends on what the EAV is, but it is not the highest.

R. Kueker asked what the abatement entails. W. Denton said people will apply for tax appeals and have hearings. In March we will get the numbers, and we will get the option to amend how much money we want in the assessment. The County puts a 4% collection increase each year, and we always waive it. R. Kueker said this was a short time period to review. W. Denton replied that it is, but when we saw the bills posted that it was extended to the end of January, we thought if we wait, there will not be enough time.

Mayor Graham added it is an insurance policy, as it is his job to look down the road to the future. The State released money today, however.

J. Mouser asked what would happen if we do not do anything. W. Denton said we would have to see what the freeze will be and plan accordingly. Mayor Graham said we do have cost increases. We have held our rate for over twenty years. We will be fine, as we are at the lower end. There will be some level of services lowered if there is a freeze.

D. Cozad asked if it is being raised 240%, as John Drolet mentioned. S. Evans replied that it is a 142% increase from last year to this year. It was maxed at .3.

Mayor Graham reopened the resident portion of the agenda.

J. Drolet responded that the .3 increase goes against every fund. The bond payments are exempt, as the debt was already incurred. He said over the last five years, our levy has essentially stayed the same, so why raise the levy.

Ron Zelms also spoke against raising the tax levy. He asked the Council to only consider the motion out of the November 23rd committee meeting. As a home rule entity, the City is not subject to any statutory tax rate limits.

Charlie Pitts said he was impressed with the forward thinking of the City, but would like the Council to review the numbers before making a decision.

Terry Lysakowski questioned the amount each taxpayer pays for the Parks. He also asked about Green Mount Road improvements. Mayor Graham offered for him to come to his office to go over the numbers.

REPORTS:

Clerk's Report: P. Goodwin did not have a report.

Mayor's Report: Mayor Graham had nothing to report.

RESOLUTIONS:

Motion by D. Cozad and seconded by H. Gerrish to consider Resolution items 1 – 13 under the Omnibus Agreement. All ayes. Motion carried.

Mayor Graham read the resolutions.

Item 1 - Resolution authorizing the Director of Public Works/City Engineer – Jeff Taylor or Administrative Assistant to the Director of Public Works – Heide Bell to sign Illinois Department of Transportation (IDOT) Motor Fuel Tax (MFT) documentation needed for annual MFT General Maintenance or Road Projects

Item 2 - Resolution authorizing the Mayor to sign an Illinois Department of Transportation (IDOT) local agency agreement for Federal Participation for the construction of a roundabout at the intersection of Milburn School Road at Simmons Road & Fairwood Hills Road in the amount of \$786,000, Section 12-00059-04-PV

Item 3 - Resolution authorizing the Mayor to execute an agreement with SCI Engineering, Inc. for the material testing related to the Milburn School Road at Simmons Road/Fairwood Hills Road Roundabout Project (Section 12-00059-04-PV) in an amount of \$6,588.40

Item 4 - Resolution authorizing the Mayor to sign an Illinois Department of Transportation (IDOT) Local Agency agreement for Federal participation for the improvements at the intersection of West Highway 50 and Old Collinsville Road, as well as authorizing the City Clerk to execute an IDOT resolution form approving the use of Local Motor Fuel Tax (MFT) Funds in the amount of \$67,000 for support of project, section 14-00067-00-PV

Item 5 - Resolution authorizing the Mayor to execute an agreement with Rhutasel & Associates, Inc. for the construction staking and material testing for

the Exit 14 Interchange improvements Section 10-00062-00-LS in an amount of \$5,000

Item 6 - Resolution authorizing the Mayor to execute an agreement with Rhutasel & Associates, Inc. for the construction staking related to the West Highway 50 congestion improvements, Section 06-00058-00-PV in an amount of \$12,600

Item 7 – Resolution authorizing the Mayor to execute an agreement with SCI Engineering, Inc. for the material testing related to the West Highway 50 congestion improvements, Section 06-00058-00-PV in an amount of \$4,548

Item 8 – Resolution authorizing the Mayor to execute an agreement with Oates Associates, Inc. for the Southview Subdivision (Rebecca Area) drainage rehabilitation project construction services in the amount of \$12,000

Item 9 – Resolution authorizing the Mayor to execute an agreement with George L. Crawford & Associates (d/b/a CBB) for the design of the North Green Mount Road at Central Park Drive improvements (Section 15-00071-00-PV) in an amount not to exceed \$114,642.80

Item 10 – Resolution authorizing the Mayor to sign an Illinois Department of Transportation (IDOT) Local Agency agreement for Federal participation for the N. Green Mount Road at Central Park Drive improvements, as well as authorizing the City Clerk to execute an IDOT resolution form approving use of local Motor Fuel Tax (MFT) funds in the amount of \$114,750 for support of the project, Section 15-00071-00-PV

Item 11 – Resolution authorizing the Mayor to execute a Local Agency Agreement for Jurisdictional Transfer for 3,379 feet of North Green Mount Road

Item 12 – Resolution approving and accepting a subdivision of land to be known as the Kurtz Farm Estates

Item 13 – Resolution authorizing the Mayor to sign annexation agreements with Reta C. Phillips and Clarence E. Robb for 10458, 10464 & 10470 Rieder Road

Motion by D. Cozad and seconded by J. Mouser to approve Resolution items 1 – 13 under the previous Omnibus agreement.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

ORDINANCES:

1st Reading –

Motion by J. Mouser and seconded by D. Cozad to consider on 1st Reading, Ordinance items 14 -16 under the Omnibus Agreement. All ayes. Motion carried.

J. Mouser read the following ordinances:

Item 14 - Ord. amending Ord. 623, Zoning, for 399 North Seven Hills Road

Item 15 – Ord. amending Ord. 623, Zoning, development known as Stone Bridge Estates located in the previously approved Stone Bridge Master Development Plan

Item 16 - Ord. amending Ord. 623, Zoning, development known as Academy Sports located at 1574 West Highway 50

Motion by J. Mouser and seconded by M. Bennett to approve on 1st Reading, Ordinances, items 14 – 16, under the previous Omnibus Agreement.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

Motion by M. Bennett and seconded by H. Gerrish to consider on 1st Reading, item 17, an Ordinance providing for the Annual Levy for the fiscal year commencing on the first day of May 1, 2015 and ending on the thirtieth day of April 2016.

M. Bennett asked D. Funk if the agenda item should be what the committee approved or the amended version, but he understood we did not have all of the information prior to the committee meeting. D. Funk replied that it should be on what the committee voted on. Mayor Graham replied he would have preferred that both be on the agenda.

Motion by M. Bennett and seconded by M. Smallheer to amend the Ordinance as depicted in Attachment A from committee approving the levy amount.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, no; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 11; Nos – 1. Motion carried.

Motion by M. Bennett and seconded by M. Smallheer to approve the Ordinance as depicted in Attachment A from committee approving the \$6,576,030 levy amount, as amended.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, no; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 11; Nos – 1. Motion carried.

2nd Reading –

Motion by J. Mouser and seconded by H. Gerrish to consider on 2nd Reading, Ordinance Items 18 – 21 under the Omnibus Agreement. All ayes. Motion carried.

J. Mouser read the following Ordinances:

Item 18, an Ordinance declaring certain vehicles and equipment as surplus property pursuant to 65 ILCS 5/11-76-4.

Item 19, an Ordinance amending Chapter 78, Schedule I, No Parking Zones regarding Hilltop Lane.

Item 20, an ordinance authorizing a first amendment to the Communications Site Lease Agreement between the City and SBA Steel, LLC for the purpose of authorizing a sublease to Verizon Wireless LLC.

Item 21, an ordinance amending and supplementing Ordinance 3890, which provided for the issuance of General Obligation Bonds, Series 2015 and providing for a levy of taxes to pay the principal of and interest on such bonds, and related matters

Motion by J. Mouser and seconded by M. Bennett to approve on 2nd Reading, Ordinance Items 18 – 21 under the previous Omnibus Agreement.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

STANDING COMMITTEES –

Community Development: Motion by M. Bennett and seconded by J. Mouser to approve the Special Event request from Syberg's to hold a Kruz 4 Kids Stuff the Trailer on December 10 – December 13, 2015 at specified times. All ayes. Motion carried.

J. Mouser said the next meeting will be December 14th at 6:00 p.m. at the Public Safety Building.

Public Works: Motion by D. Cozad and seconded by J. Mouser to approve the purchase of a pre-treatment and deicing sprayer from Woody's Municipal Supply in the amount of \$10,159.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

D. Cozad stated the next meeting will be held December 28th at 7:00 p.m. at the Public Safety Building.

M. Bennett asked D. Funk about a good neighbor ordinance. He said a homeowner has to pay for a tree removal on his property that is actually owned by the neighbor. The neighbor refused to pay for the removal because his insurance company did not cover it. He asked if we should pass something that would require the owner to pay for it. D. Funk responded that he did not think we could enforce it. M. Bennett asked him to research it.

Finance/Administration: M. Bennett said they met prior to this meeting. Motion by M. Bennett and seconded by J. Mouser to approve Warrant #338 in the amount of \$3,406,452.73.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

Parks and Environment: R. Holden said they will possibly meet Monday, December 14th at 5:30 p.m. at the Public Safety Building.

Public Safety: C. Marsh said that they will meet next Monday at 5:00 p.m. at the Public Safety Building.

EXECUTIVE SESSION: Mayor Graham announced they would go into closed session to discuss the setting of a price for sale or lease of property. Motion by M. Bennett and seconded by J. Mouser to go into closed session.

ROLL CALL: Meile, aye; Kueker, aye; Mouser, aye; Hagarty, aye; Roach, aye; Smallheer, aye; Bennett, aye; Marsh, aye; Holden, aye; Drolet, aye; Cozad, aye; Gerrish, aye. Ayes – 12; Nos – 0. Motion carried.

Council went into closed session at 8:05 p.m. and returned at 8:17 p.m.

Motion by M. Bennett and seconded by R. Kueker to authorize the Mayor to send out a request for proposals for the old City Hall property. All ayes. Motion carried.

ADJOURNMENT: Motion by M. Bennett and seconded by R. Holden to adjourn. All ayes. Motion carried.

The meeting was adjourned at 8:18 p.m.

Submitted by,

Philip A. Goodwin
City Clerk

Minutes recorded by
Maryanne Fair, Deputy City Clerk
Proper notice having been duly given

CITY OF O'FALLON, ILLINOIS
RESOLUTION 2015 -

**A RESOLUTION AUTHORIZING EXECUTION OF A
SERVICE AGREEMENT WITH THE LOWEST RESPONSIBLE
BIDDER FOR THE SUPPLY OF ELECTRICITY FOR RESIDENTIAL
AND SMALL COMMERCIAL RETAIL CUSTOMERS WHO DO NOT
OPT OUT OF SUCH A PROGRAM**

- WHEREAS, the City of O'Fallon ("City"), St. Clair County, Illinois is a duly created, organized and validly existing municipality of the State of Illinois under the 1970 Illinois Constitution and the laws of the State of Illinois, including particularly the Illinois Municipal Code, and all laws amendatory thereof and supplementary thereto; and
- WHEREAS, Section 1-92 of the Illinois Power Agency Act, 20 ILCS 3855/1-92, permits a municipality, if authorized by referendum, to adopt an ordinance by which it may operate a program to solicit bids and enter into service agreements for the sale and purchase of electricity and related services and equipment to residential and small commercial customers who do not opt-out of such a program; and
- WHEREAS, the City submitted the public question of whether it should operate the program as an opt-out program; and
- WHEREAS, the referendum passed by a majority vote of the qualified electors voting on the question; and
- WHEREAS, the City established an opt-out electricity aggregation program and implemented the program according to the terms of the Illinois Power Agency Act, 20 ILCS 3855/1-1 *et seq.*; and
- WHEREAS, the City Council finds that the best interests of the City are served by continuing the electric aggregation program according to the terms of the Illinois Power Agency Act, 20 ILCS 3855/1-1 *et seq.*; and
- WHEREAS, the City desires to enter into an agreement with an alternative supplier to commence upon the expiration of the existing electric supply contract, in order to avoid the default rate charged by the electric provider; and
- WHEREAS, the City Council finds that the best interests of the City are served by entering into an agreement with the lowest responsible bidder, pursuant to 20 ILCS 3855/1-92, to aggregate the residential and small commercial retail electric loads located within the City and to arrange for competitive electric supply to these retail electrical accounts; and

WHEREAS, because electricity is a commodity for which supply bids typically are made each morning and expire the same day at the close of business, the City must act promptly to accept any such desired bid in order to contractually guarantee a per kilowatt hour electric rate for its residential and small commercial customers.

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of O'Fallon, as follows:

- Section 1. That the preceding recitations in the upper part of this Resolution re-alleged, restated and adopted as paragraph one ("1") of this Resolution.
- Section 2. The City's electricity aggregation program shall be operated and governed in accordance with said Electricity Aggregation Program Plan of Operation and Governance, the applicable provisions of the Illinois Power Agency Act, and any applicable rules and regulations that are now or in the future adopted pursuant to the Act.
- Section 3. The Director of Finance ("Agent") or her designee be and the same is hereby authorized to execute and deliver a service agreement with the lowest responsible bidder for the supply of electricity for residential and small commercial retail customers who do not opt out of such a program, said execution and attestation to take place within the applicable time constraints required by the bidder; provided, however, that the energy price to be paid per kilowatt hour pursuant to the agreement is less than the default rate currently charged by the default electric provider, resulting in savings for the City's residential and small commercial retail customers.
- Section 4. The lowest responsible bidder shall be defined as the bidder that provides the lowest price for energy supplies that meet the minimum statutory requirement of renewable energy supplies. The Agent shall be authorized to execute a service agreement with the lowest responsible bidder for either: (1) the energy supply option that meets the minimum statutory requirement of renewable energy supplies, or (2) any combination of renewable options offered from the lowest responsible bidder that is not in excess of 5% higher than the cost of the minimum statutory requirement; provided, however, that the energy price to be paid per kilowatt hour pursuant to the agreement is less than the default rate currently in effect.
- Section 5. If the lowest responsible bidder, as defined by this Resolution, is not the same supplier that is accepted as the prevailing bidder (as recommended by Good Energy) by a majority of the buying group of which the City is currently a member and the lowest responsible

bidder will not, as a result, execute a service agreement with the City, the Agent shall not be required to sign a service agreement.

- Section 6. In the event that Agent does not sign a service agreement at the initial bid opening, Agent shall be authorized to sign a service agreement at a second bid opening, so long as such execution is carried out in the manner set forth in this Resolution.
- Section 7. The authority of the Agent to execute a service agreement shall automatically expire at 11:59 p.m. on August 31, 2016.
- Section 8. The provisions of this Resolution are hereby declared to be severable, and should any provision of this Resolution be determined to be in conflict with any law, statute, or regulation by a court of competent jurisdiction, said provision shall be excluded and deemed inoperative, unenforceable and as though not provided for herein, and all other provisions shall remain unaffected, unimpaired, valid and in full force and effect.
- Section 9. This Resolution shall take full force and effect immediately upon passage by the Corporate Authorities.

PASSED by the City Council and APPROVED by the Mayor this _____ day of _____, 2015.

Gary L. Graham
Mayor
City of O'Fallon

ATTEST:

Phil Goodwin
City Clerk
City of O'Fallon



CITY COUNCIL AGENDA ITEMS

To: Mayor and City Council
From: Sandy Evans, Director of Finance
Walter Denton, City Administrator
Date: December 21, 2015
Subject: Resolution Authorizing Execution of a Service Agreement with the Lowest Responsible Bidder for the Supply of Electricity for Residential and Small Commercial Retail Customers Who Do Not Opt Out of Such a Program

List of committees that have reviewed: None

Background: The City established an opt-out electricity aggregation program after the passing of a referendum on November 6, 2012. The City has offered municipal aggregation to our residents as an alternative to their electrical supplier needs since April 2013. Aggregation is an opportunity for municipalities to negotiate competitive pricing to help lower electric supply rates and provide budget stability for the residents and small businesses. Our current electric supply contract with Homefield Energy expires in June 2016. The current municipal aggregation rate is 4.58 cents (which has been constant since June 2014) and has provided savings to our residents compared to the current Ameren rate of 6.768 cents. Our consultants, Good Energy, recommend going out for bids soon in order to secure rates. Since electricity is a commodity, the City must act promptly to accept any desired bid in order to guarantee a per kilowatt hour electric rate for its residential and small commercial customers. Approximately 80% of the eligible residents participate in the municipal aggregation program.

Legal Considerations, if any: Ordinance reviewed by legal counsel

Budget Impact: None

Staff recommendation: Recommend approval

CITY OF O'FALLON, ILLINOIS
ORDINANCE NO. _____

**AN ORDINANCE APPROVAL THE
FINAL PLAT OF BETHEL FARMS –
PHASE 1**

WHEREAS, the City of O'Fallon Community Development and Public Work Departments have reviewed and subsequently recommend the Final Plat and associated improvement plans for Bethel Farms subdivision; and

WHEREAS, on December 14, 2015, the Community Development Committee of the City Council reviewed the final plat and recommended approval with a vote of 6-ayes and 0-nays; and

WHEREAS, the City Council has reviewed the Final Plat and finds it acceptable and to the public benefit.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O'FALLON, ST. CLAIR COUNTY, ILLINOIS AS FOLLOWS:

Section 1. That the final plat of Bethel Farms, Phase 1 attached hereto as Exhibit A, be accepted and approved.

Section 2. That the City Clerk be and is hereby directed to file with the Recorder of Deeds of St. Clair County, Illinois, a copy of this Ordinance, along with a copy of the plat. The recording expense shall be borne by the person(s) requesting approval of the plat.

Upon its passage and approval, this Ordinance shall be in full force and effect ten (10) days after its publication in pamphlet form as required by law.

Passed by the City Council this _____ day of _____ 2016.

ATTEST:

Approved by the Mayor this _____ day

(seal)

of _____ 2016.

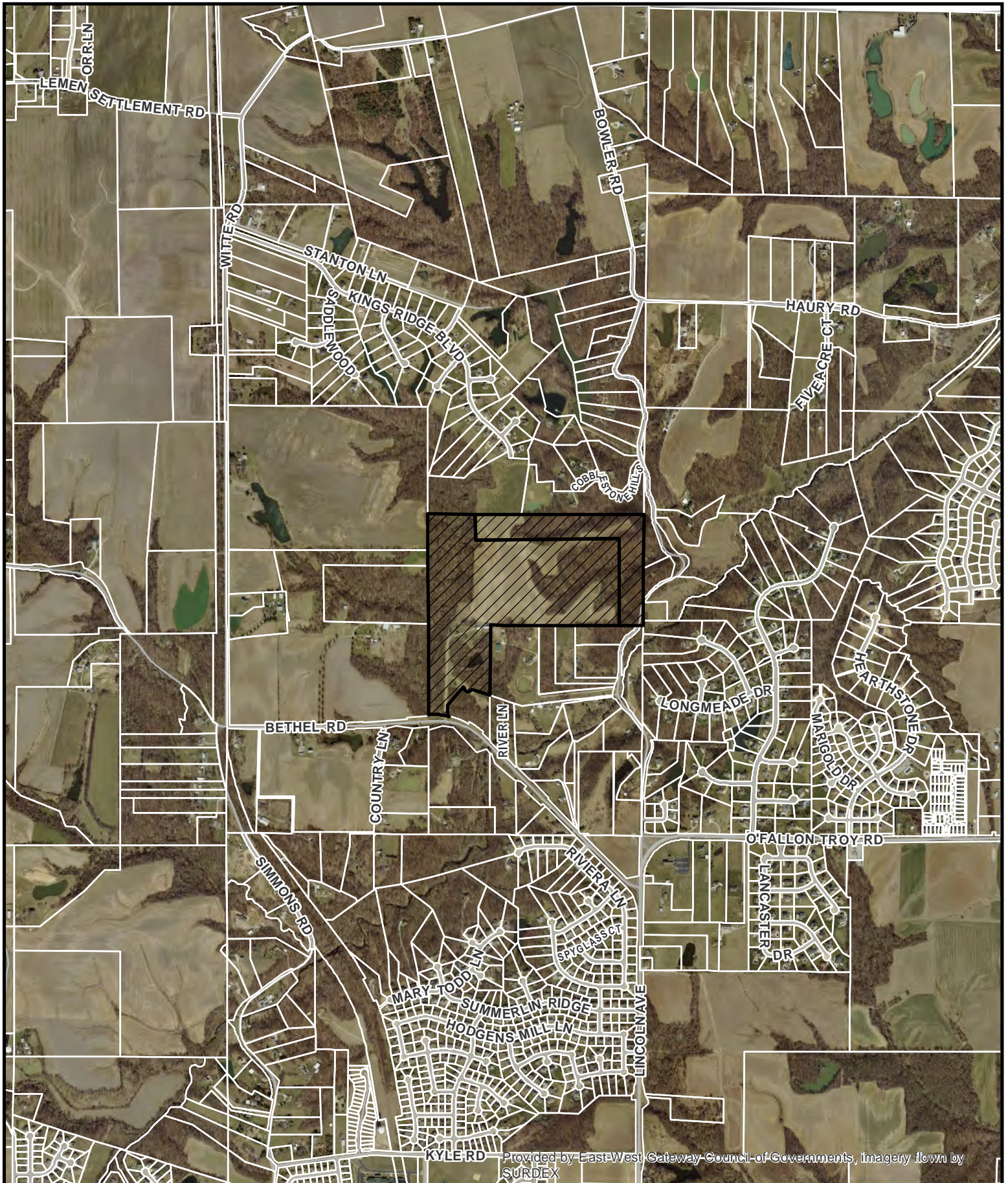
Philip A. Goodwin, City Clerk

Gary L. Graham, Mayor

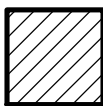
ROLL CALL:	McCoskey	Meile	Kueker	Albrecht	Mouser	Hagarty	Drolet	SUB TOTALS
Aye								
Nay								
Absent								

ROLL CALL:	Roach	Bennett	Marsh	Smallheer	Holden	Cozad	Gerrish	SUB TOTALS	SUM OF TOTALS
Aye									
Nay									
Absent									

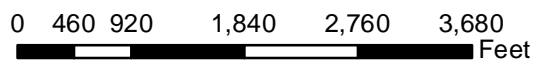
S15-11: Bethel Farms - Phase 1 - Final Plat



Provided by East-West Gateway Council of Governments, Imagery flown by SURDEX



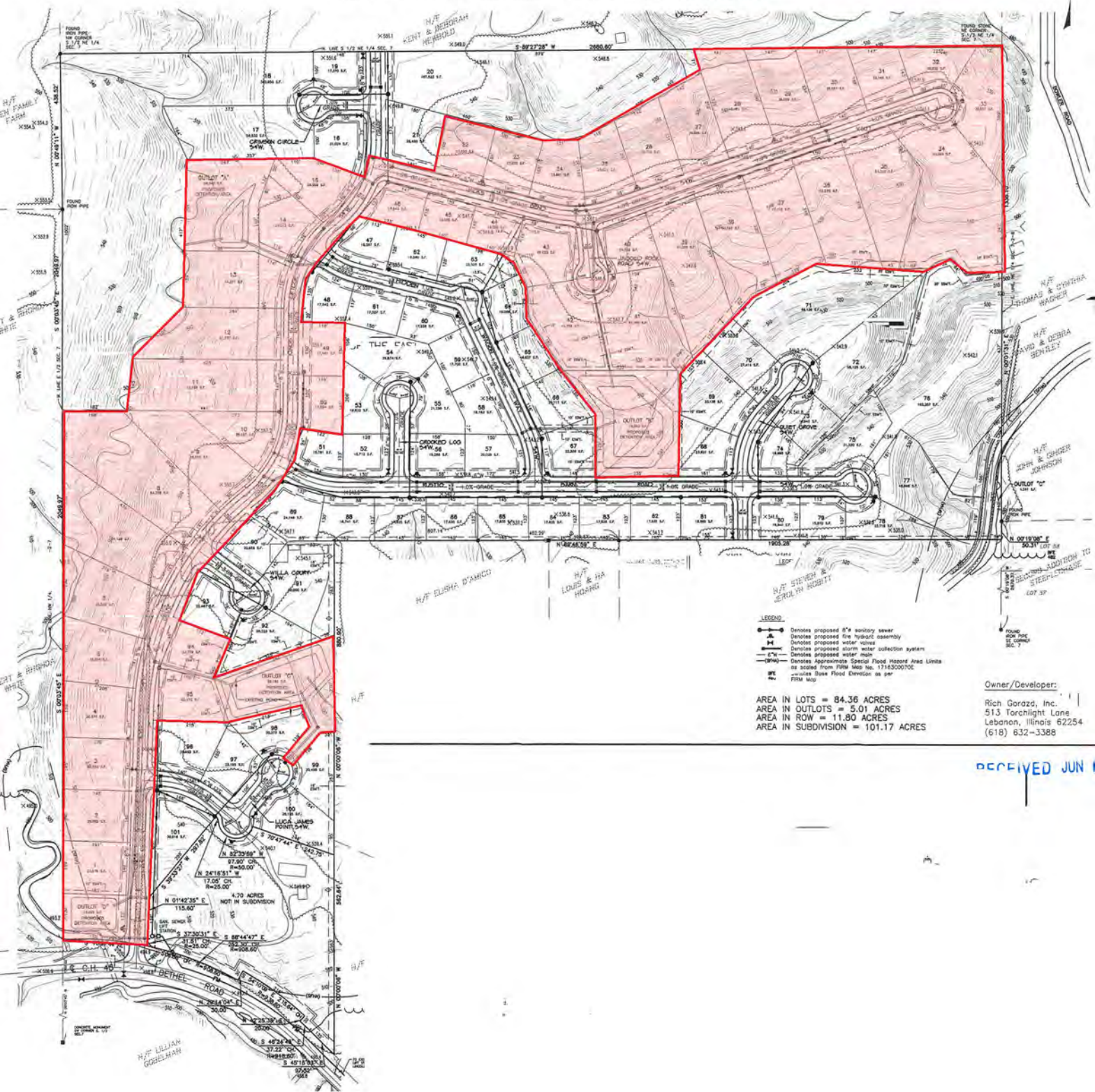
Subject Property



BETHEL FARMS

PART OF THE EAST HALF OF SECTION 7, TOWNSHIP 2 NORTH,
RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN, ST. CLAIR COUNTY, ILLINOIS.

Scale: 1" = 100'



LEGEND

- Denotes proposed 8" sanitary sewer
- H— Denotes proposed fire hydrant assembly
- V— Denotes proposed water valves
- S— Denotes proposed storm water collection system
- M— Denotes proposed water main
- (FHA)— Denotes Approximate Special Flood Hazard Area Limits as shown from FEMA Map No. 17163C0070C
- FE— denotes Base Flood Elevation as per FEMA map

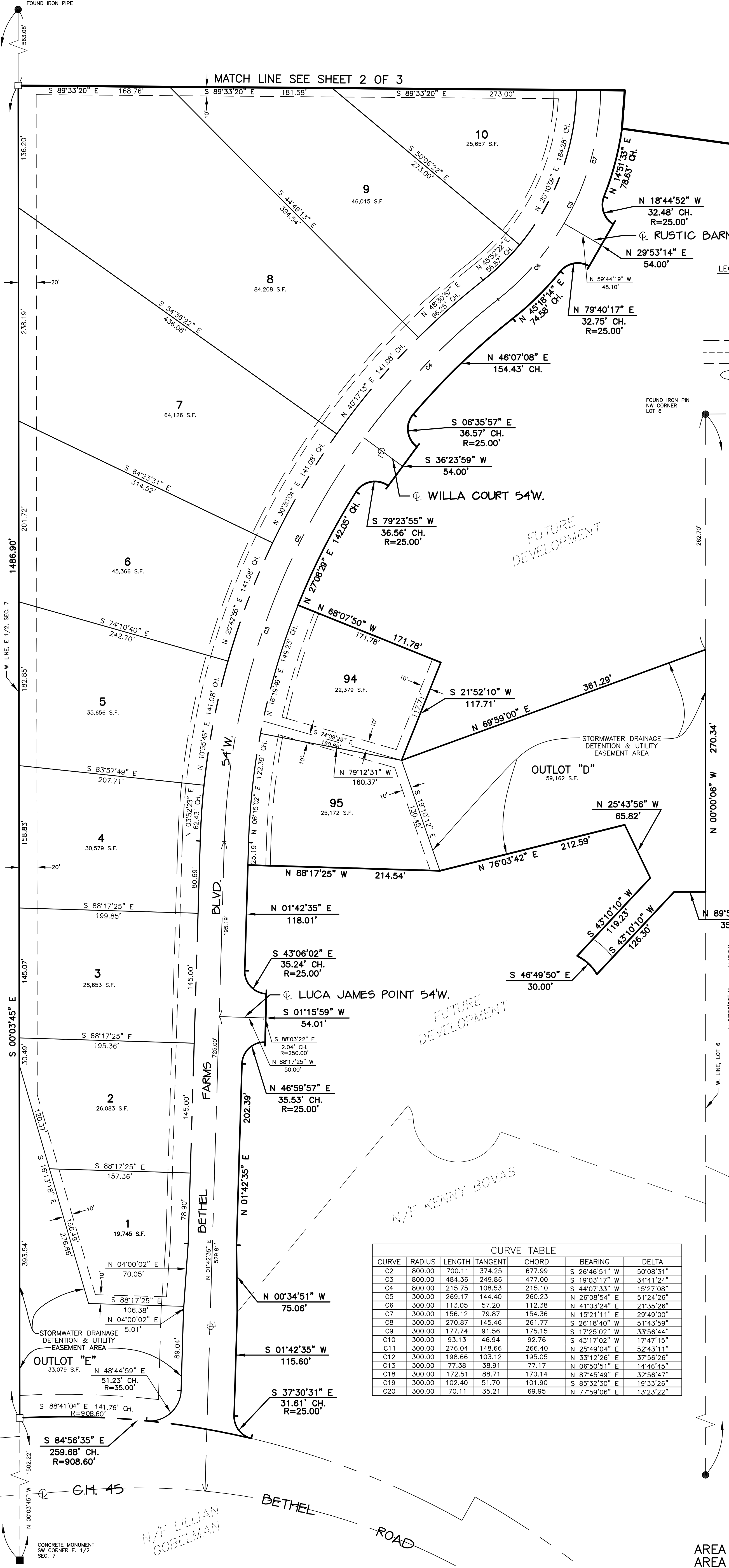
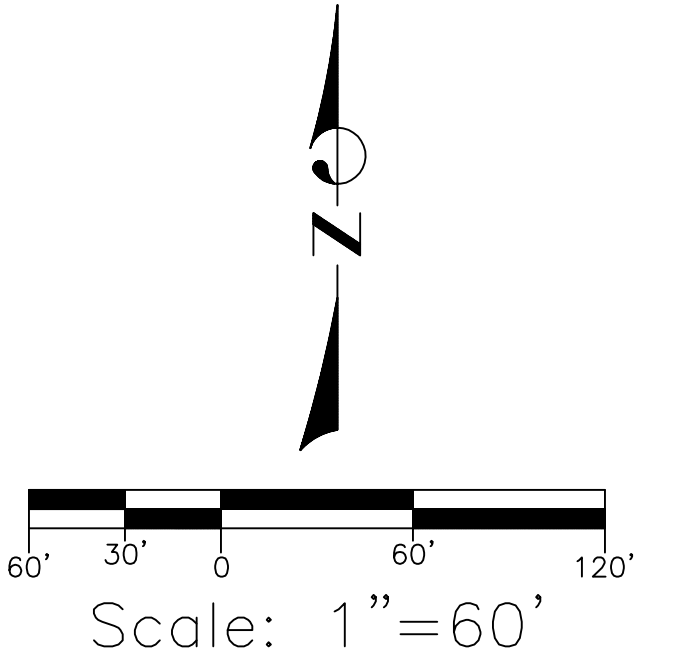
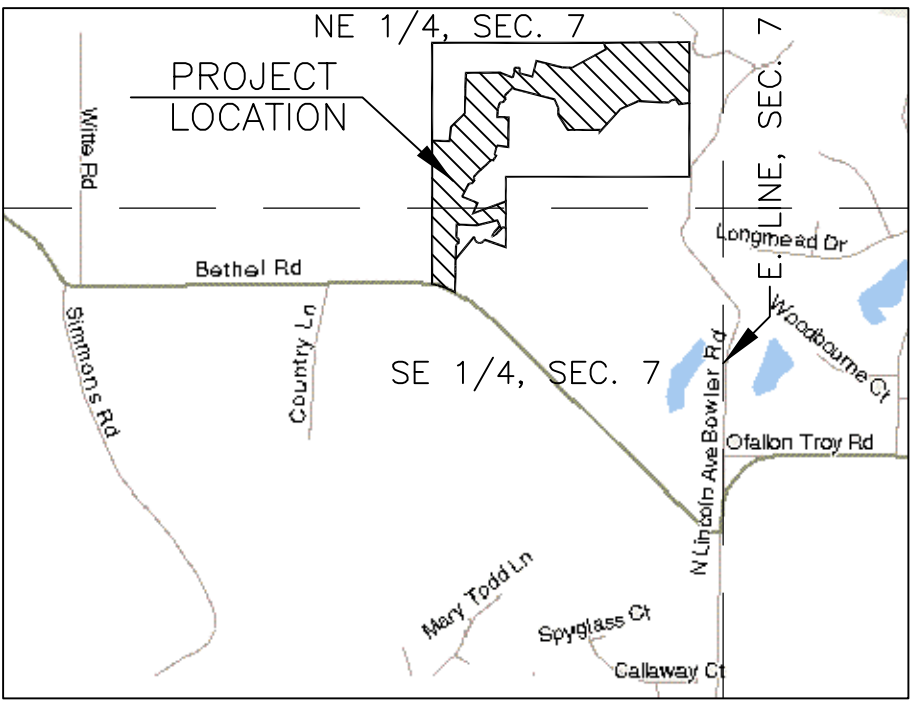
AREA IN LOTS = 84.36 ACRES
 AREA IN OUTLOTS = 5.01 ACRES
 AREA IN ROW = 11.80 ACRES
 AREA IN SUBDIVISION = 101.17 ACRES

Owner/Developer:
 Rich Gorazd, Inc.
 513 Torchlight Lane
 Lebanon, Illinois 62254
 (618) 632-3388

RECEIVED JUN 1

BETHEL FARMS

PART OF THE EAST HALF OF SECTION 7, TOWNSHIP 2 NORTH,
RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN, ST. CLAIR COUNTY, ILLINOIS.



- LEGEND**
- Denotes found old stone
 - Denotes found I.P.
 - Denotes set I.P.
 - Denotes set conc. monument
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 - Denotes R.O.W. line
 - - - Denotes easement line
 - - - Denotes building set-back line
 - Denotes street address

Note:
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CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
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AREA IN LOTS=37.28 ACRES
AREA IN OUTLOTS=3.49 ACRES
AREA IN R.O.W.=5.74 ACRES
AREA IN SUBDIVISION=46.51 ACRES

SHEET 1 OF 3	PROJECT NO. 2249	DRAWING: SUBDIVISION PLAT	DATE NOV. 2015	REVISIONS	Sherbut-Carson & Associates, P.C. #4 Meadow Heights Professional Park Collinsville, Illinois 62234 Phone: 618-345-5454 Fax: 618-345-3017
		BETHEL FARMS	DRAWN K.M.C.	DATE REMARKS	
SHEET NUMBER :		CHECK			

BETHEL FARMS

PART OF THE EAST HALF OF SECTION 7, TOWNSHIP 2 NORTH,
RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN, ST. CLAIR COUNTY, ILLINOIS.

The approval of this plat by the City of O'Fallon does not obligate the City to perform any maintenance of any drainage easement in this subdivision, nor the acceptance of any storm water drainage way, structure, or improvements other than surface drainage structures or improvements having prior approval of the City. It is the intent of the subdivider that the individual lot owners shall maintain that part of any drainage easement shown hereon lying within the boundary of their property.

Owner/Developer

State of Illinois)
County of St. Clair)

We, the undersigned being the owners in fee of the property embraced by this plat, hereby acknowledge this plat to be our free and voluntary act and deed and hereby dedicate to the public forever, for roadway purposes, the streets as shown hereon and hereby grant the easements shown hereon for the construction and maintenance of municipal and public utilities service and drainage, and the building lines shown hereon are the building lines to be referred to in all conveyances of lots in this subdivision, including the release of the right of homestead, under the Homestead Exemption Laws of the State of Illinois. This land lies totally within O'Fallon Community School District 90 and O'Fallon Twp. School High District 203.

In Witness Whereof, we have set our hands and seals this ____ day of _____, 20____.

Rich Gorazd, Inc.

Richard J. Gorazd

State of Illinois)
County of _____)

I, a Notary Public in and for the County aforesaid, do hereby certify that the above signed persons, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and sealed the same as their free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the rights of homestead.

Given under my hand and notarial seal this ____ day of _____, 20____.

Notary Public

State of Illinois)
County of St. Clair)

I, the undersigned, County Clerk of St. Clair County, Illinois, hereby certify that I have examined the above plat, and that I have searched the records of my office to ascertain whether all redeemable sales for unpaid taxes or special assessments have been paid, as required by law upon all of the property embraced within said plat, and I hereby certify that I find no redeemable tax sales or unpaid taxes against any of the real estate included in this plat, and do hereby approve the same for assessment purposes.

In Witness Whereof, I have hereunto set my hand and the seal of my Office, this ____ day of _____, 20____.

County Clerk

9-1-1 EMERGENCY CERTIFICATION

This plat has been reviewed for 9-1-1 implementation.

9-1-1 Coordinator _____ Date _____

Approved by the City Council of the City of O'Fallon, Illinois, this ____ day of _____, 20____.

Mayor _____ City Clerk _____

We, Sherbut-Carson-Claxton, LLC, hereby certify that at the request of the owner, we have surveyed and subdivided the tract of land as shown hereon, and that this plat is a true and accurate representation of that survey and subdivision. We further certify that part of said land may be located within a special flood hazard area as identified by the Federal Emergency Management Agency on FIRM Community-Panel No. 17163C0070E as shown hereon.

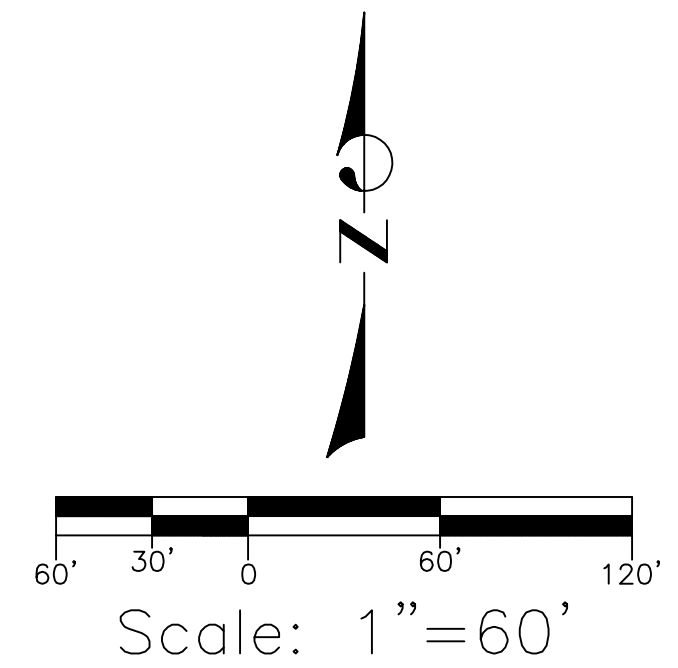
Sherbut-Carson-Claxton, LLC

Michael J. Graminski, I.P.L.S. 2901

Expires: 11/30/2016

We, Sherbut-Carson-Claxton, LLC, hereby certify that all required agencies were properly notified, and have approved of the project. The agencies notified, if applicable, include Illinois Historic Preservation Agency (IHPA); Illinois Department of Natural Resources (IDNR - endangered species); Illinois Department of Natural Resources (IDNR stream hydraulics); Natural Resource Conservation Service (NRCS); U.S. Army Corps of Engineers (USACE - Clean Water Act - stream hydraulics); Illinois Environmental Protection Agency (IEPA- storm water permit); St. Clair County Department of Roads and Bridges (entrance permit); Illinois Department of Transportation Division of Highways (IDOT - entrance permit); U.S. Department of Agriculture (USDA - prime farm land).

David B. Claxton, IL P.E. 062-049684

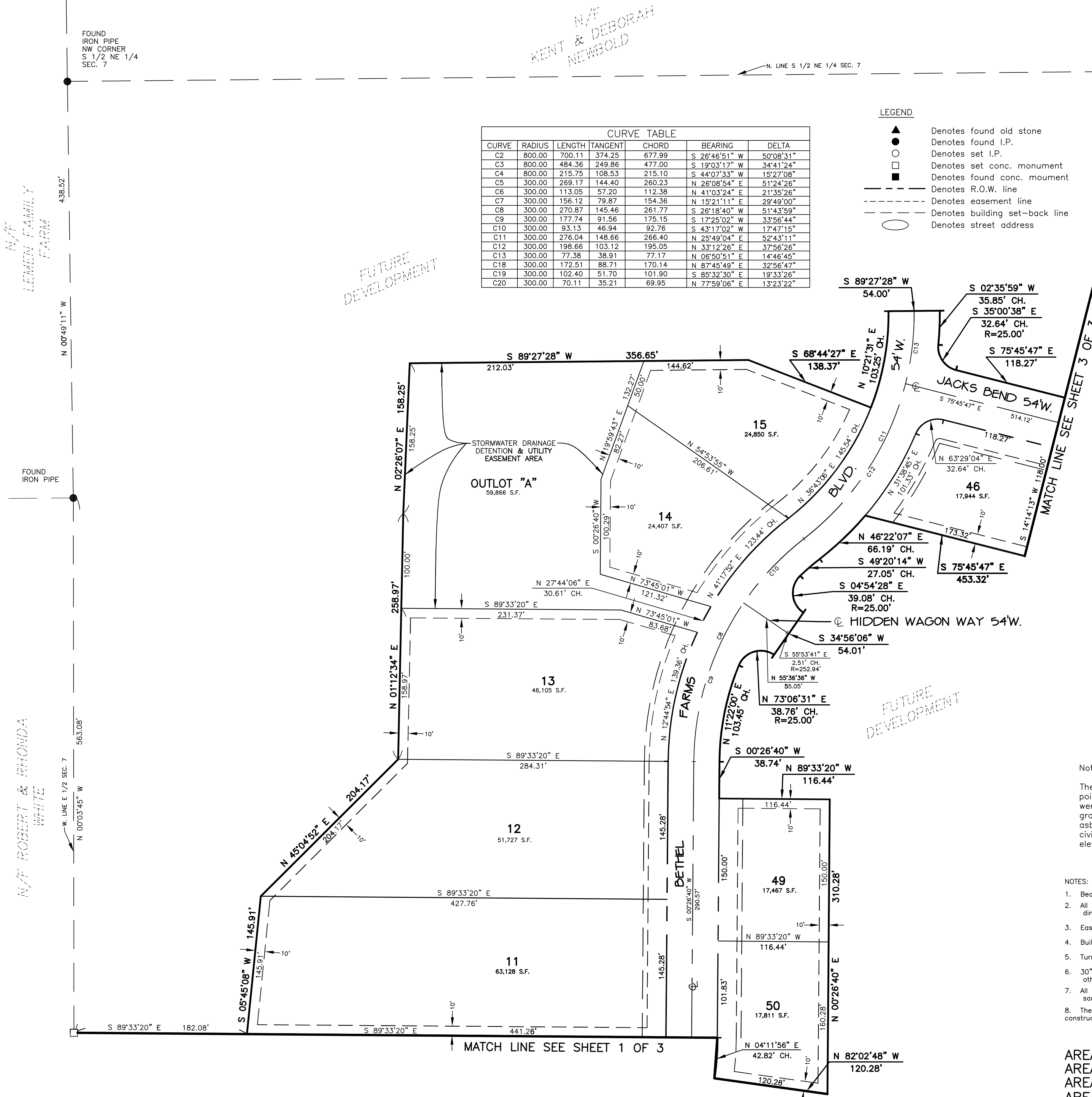


Owner/Developer:
S.M.R. LLC
513 Torchlight Lane
Lebanon, Illinois 62254
(618) 632-3388

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3. Easements shown hereon are 20 feet wide unless noted.
4. Building set-backs are 25 feet unless noted.
5. Turnout radii are 25 feet unless noted.
6. 30" x 5/8" re-bar markers set at all lot corners, unless otherwise noted.
7. All easements shown hereon are for utilities, watermain, sanitary sewer, drainage and detention purposes.
8. There shall be no structures, fencing, utilities, etc. constructed or installed within storm water detention areas.

Sherbut-Carson & Associates, P.C.
#4 Meadow Heights Professional Park
Collinsville, Illinois 62234
Phone: 618-345-5454
Fax: 618-345-3017

DATE	REVISIONS	REMARKS
NOV. 2015 <td></td> <td></td>		

DATE	DRAWN	CHECK
	K.M.C.	

DRAWING: SUBDIVISION PLAT
PROJECT NO. 2249
SHEET NUMBER : 2 OF 3
BETHEL FARMS

AREA IN LOTS=37.28 ACRES
AREA IN OUTLOTS=3.49 ACRES
AREA IN R.O.W.=5.74 ACRES
AREA IN SUBDIVISION=46.51 ACRES

BETHEL FARMS

PART OF THE EAST HALF OF SECTION 7, TOWNSHIP 2 NORTH,
RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN, ST. CLAIR COUNTY, ILLINOIS.

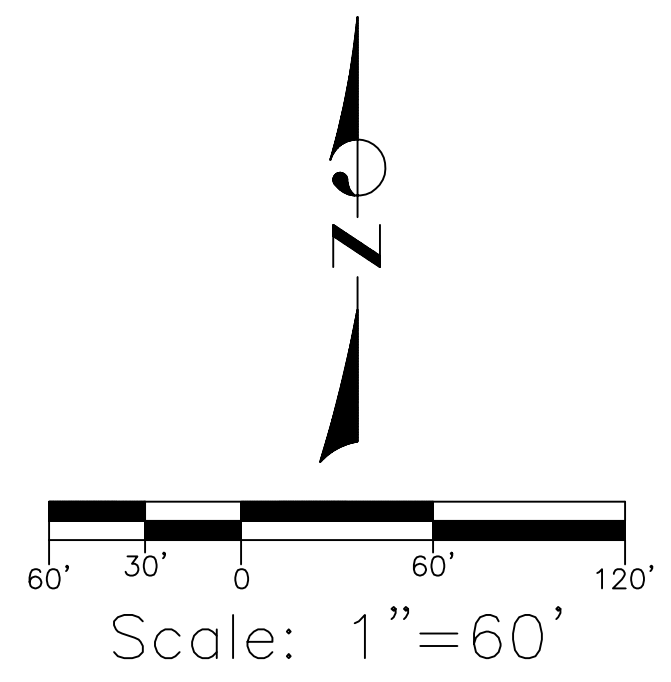
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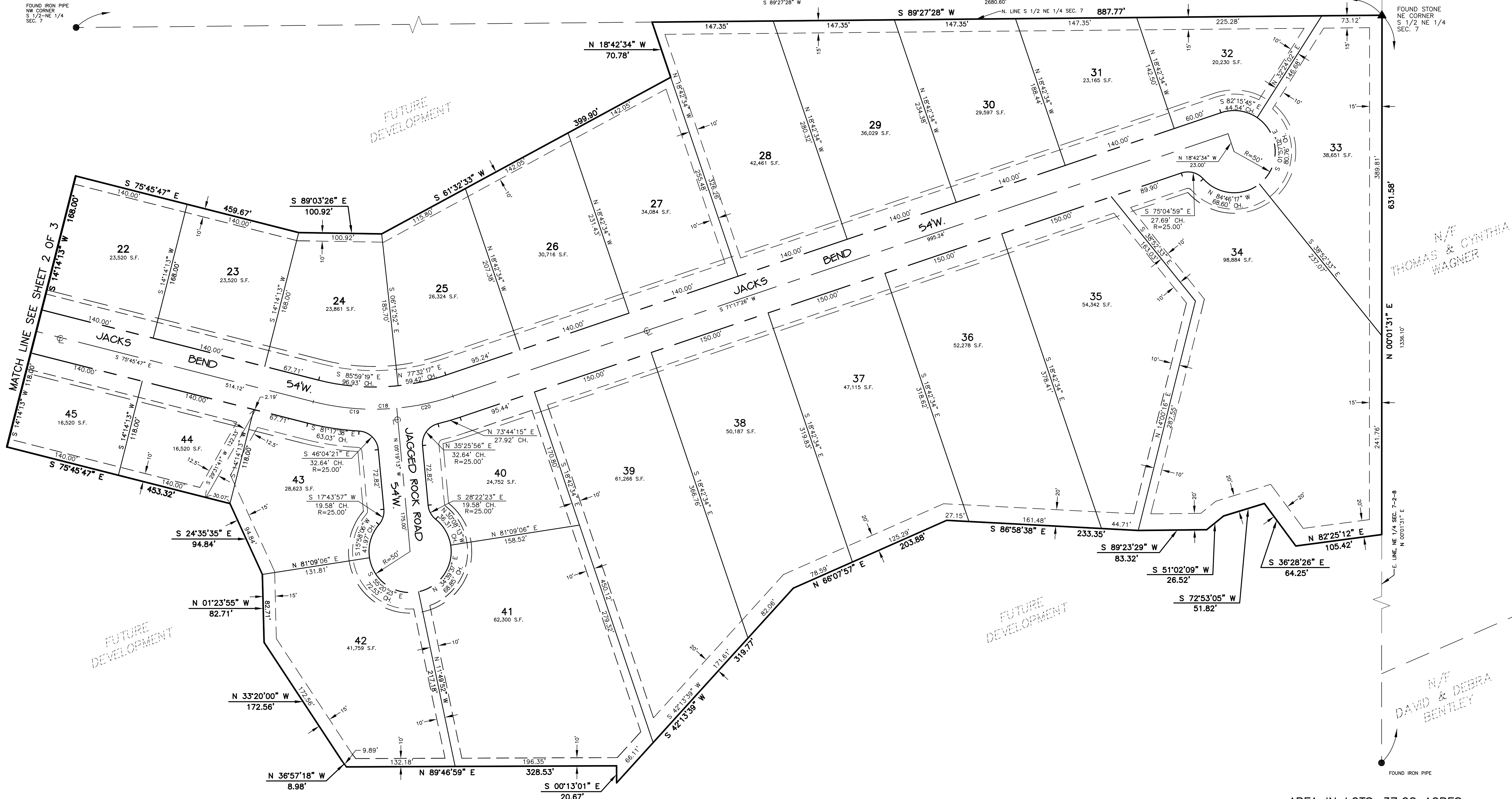
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Sherbut-Carson & Associates, P.C.
#4 Meadow Heights Professional Park
Collinsville, Illinois 62234
Phone: 618-345-5454
Fax: 618-345-3017

DATE	REVISIONS	REMARKS
NOV. 2015 <td></td> <td></td>		

DATE	DRAWN	CHECK
NOV. 2015	K.M.C.	

DRAWING: **SUBDIVISION PLAT**
BETHEL FARMS

PROJECT NO. 2249
SHEET NUMBER: **3** OF **3**

AREA IN LOTS=37.28 ACRES
AREA IN OUTLOTS=3.49 ACRES
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AREA IN SUBDIVISION=46.51 ACRES



CITY COUNCIL AGENDA ITEM

To: Mayor Graham and City Council

From: Ted Shekell, Community Development Director
Walter Denton, City Administrator

Date: December 21, 2015

Subject: Bethel Farms, Phase 1, Final Plat – 1st Reading

List of committees that have reviewed: The Community Development Committee reviewed the final plat at its December 14, 2015 meeting and recommended approval with a vote of 6-ayes to 0-nays.

Background

The applicant, Rich Gorazd, Inc, is proposing Bethel Farms Final Plat, Phase I, consisting of 44 single-family homes on 46.5 acres. This is phase I of a larger, 101.17 acre development located approximately 0.6-mile northwest of the Bethel Road and Lincoln Avenue intersection. The applicant is proposing to divide the land into 101 single-family lots. Lot sizes range from 15,712 square feet to 363,000 square feet (8.35-acres) in size. The preliminary plat has a total of 5.01 acres of open space, designated within four outlots, all consisting of detention areas.

All streets within the subdivision consist of 54-foot right-of-way with 30 feet of pavement back of curb to back of curb, except for the entrance which will be widened to support a median. Per the annexation agreement, the preliminary plat provides a stub street to the north, for a potential connection to the Witte Farms subdivision and a stub street to the southeast for a potential connection to undeveloped ground. Sidewalks have been incorporated into the preliminary plat on both sides of the street.

The developer will be tying onto the City of O'Fallon sanitary sewer and water system. However, the City and the developer are still working on the offsite utility improvements and trying to determine whether to size the improvements for the current development or for future growth in the area.

Legal Considerations, if any: None

Budget Impact: There will be an annexation fee paid to the City of \$2,250 per lot and a fee of \$865 per lot will be paid to the City by the developer as a fee in lieu of park land. The annexation agreement indicates, "the City's reimbursement to the developer for the extension of water and sewer lines to the subdivision shall not exceed \$150,000." However, the additional costs would need to be determined if the City were to upsize the improvements to accommodate future growth.

Staff Recommendation: Community Development and Public Work staff recommend the Phase I Final Plat for approval, subject to final review of the improvements plans and offsite improvements.

CITY OF O'FALLON
ORDINANCE NO. _____

**AN ORDINANCE AMENDING
ORDINANCE 623, ZONING
DISTRICTS OF THE CITY OF
O'FALLON, ILLINOIS
(DEVELOPMENT KNOWN AS "TIM
HORTON'S & RELIANCE BANK")
LOCATED AT 450 REGENCY PARK
ON PARCEL 03-36.0-204-017**

WHEREAS, the applicant, Eric Sigurdson of Show Me Hospitality, LLC, has filed an application requesting approval of a planned use rezoning to authorize construction of a 3,370 square foot, café and bank at 450 Regency Park, Parcel 03-36.0-204-017 in O'Fallon; and

WHEREAS, the applicant has filed an application with the City of O'Fallon, Illinois pursuant to the requirements of all applicable laws, including City Ordinance 3471, "Planned Uses"; and

WHEREAS, the Planning Commission of the City of O'Fallon, Illinois held a public hearing on December 8, 2015, in accordance with state statute, and recommended to approve the petitioner's request to obtain a B-1(P) Planned Community Business District zoning for the property with a vote of 6 ayes to 0 nays as outlined in the adopted Planning Commission Report, attached hereto and declared to be an inseparable part hereof (Exhibit A); and

WHEREAS, on December 14, 2015 the Community Development Committee of the City Council reviewed the rezoning and recommended approval with a vote of 6 ayes to 0 nays.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O'FALLON, ST. CLAIR COUNTY, ILLINOIS AS FOLLOWS:

Section 1. That upon the effective date of this Ordinance, the described property, known as "Tim Horton' and Reliance Bank", be henceforth classified as zoning district B-1(P) Planned Community Business District with the following conditions:

1. A variance to allow 7 of the 30 parking spaces required for the site to be offsite on the Regency Conference Center, subject to the existing cross access and parking easement and Section 158.141.
2. A variance to allow the parking lot perimeter to be constructed per the site plan.
3. A variance to the sign code to allow two wall signs for Tim Horton's on the east elevation.

4. If at any such point in time where the City at its discretion, through an independent consultant, believes the drive-thru traffic is causing a problem to the general public (i.e. queuing onto the access road) Tim Horton's will be required to construct the 2nd drive-thru lane within an agreed upon timeline.
5. A service agreement with the adjoining lot owners on how to manage the necessary improvements, maintenance and repair of the access drive must be in place prior to final occupancy and a signed copy provided to the City.
6. Provide additional stone base around the north and northwest side of the building.
7. Provide additional cross access easement for the improvements to the access drive.
8. A landscaping plan shall be submitted in accordance with the standards of Section 158.144.

Section 2. A Certified Copy of this ordinance, with all referenced attachments, shall be filed with the City Clerk's office of the City of O'Fallon, Illinois.

Upon its passage and approval, this Ordinance shall be in full force and effect ten (10) days after its publication in pamphlet form as required by law.

Passed by the City Council this _____ day of _____ 2016.

ATTEST:

(seal)

Approved by the Mayor this _____ day
of _____ 2016.

Philip A. Goodwin, City Clerk

Gary L. Graham, Mayor

ROLL CALL:	McCoskey	Meile	Albrecht	Kueker	Mouser	Hagarty	Roach	SUB TOTALS
Aye								
Nay								
Absent								

ROLL CALL:	Smallheer	Bennett	Marsh	Holden	Drolet	Cozad	Gerrish	SUB TOTALS	SUM OF TOTALS
Aye									
Nay									
Absent									



PROJECT REPORT

TO: Planning Commission
FROM: Justin Randall, Senior City Planner
Ted Shekell, Community Development Director
DATE: December 8, 2015
PROJECT: P2015-17: Tim Hortons & Reliance Bank – Planned Use

Location: 450 Regency Park
Ward: 1
Applicant: Eric Sigurdson of Show Me Hospitality, LLC
Owner: Sunrise Counties, LLC
Submitted: November 2, 2015

Introduction

The applicant, Eric Sigurdson of Show Me Hospitality, LLC has filed an application requesting a planned use for a parcel of land at 450 Regency Park, zoned B-1(P), Planned Community Business District for the construction of a 3,370 square foot Tim Horton's Café and Bake Shop and Reliance Bank. The majority (2,403 square feet) of the building will be occupied by Tim Hortons and 967 square feet will be utilized by Reliance Bank. There will be a drive-thru for the Tim Hortons and an ATM drive-thru for Reliance Bank.

Existing Conditions

Subject Property

The subject property for the proposed Tim Horton's Café and Bake Shop and Reliance Bank is an approximate 0.80 acre (34,752 square foot) parcel. The property is located on the north side of Regency Park, in front of the Regency Conference Center.

The property is currently vacant and is generally flat. A private access road for a number of properties, including the Regency Conference Center and Green Mount Professional Building (under construction) will be located on the eastern property line and will serve as the access to the subject property. The site will utilize a 4.64 acre stormwater retention facility on the St. Elizabeth site, behind the Hilton Garden Inn and Regency Conference Center. The subject property is located outside of any floodplain.

Surrounding Properties

The property surrounding the proposed Tim Horton's Café and Bake Shop and Reliance Bank is a mixture of non-residential uses, including commercial, office, and restaurants. The following is detailed information on the surrounding zoning and land uses.

Community Development Department

255 South Lincoln Avenue, O'Fallon, IL 62269 ♦ P: 618.624.4500 x 4 ♦ F: 618.624.4534

Surrounding Zoning:
North: B-1(P) & O-1(P)

East: B-1(P)

South: B-1(P)

West: B-1(P)

Surrounding Land Use:
North: Vacant land adjoining the Regency Conference Center and St. Elizabeth's Hospital site

East: Green Mount Professional Building (under construction)

South: Bella Milano, Global Brew, Egg and I, PNC Bank and Green Mount Corporate Center

West: Hilton Garden Inn & Regency Conference Center

Applicable Ordinances, Documents and Reports

O'Fallon Comprehensive Plan: The O'Fallon Comprehensive Plan Future Land Use Map depicts the subject property as *Regional Commercial*, which is consistent with the proposed project.

Code of Ordinances: The proposed Tim Horton's Café and Bake Shop and Reliance Bank is subject to Article 6 Planned Uses of Chapter 158: Zoning of the Code of Ordinance and requires a development plan. The property is also subject to the B-1, Community Business District requirements and the Commercial Design Handbook

Public Notice: Public Notice of this project has been fulfilled in accordance with Section 158.255 and 158.256 of the City of O'Fallon Zoning Regulations. More specifically, the applicant has notified property owners within 250 feet of the subject property via certified mail of the filing of the zoning amendment. Additionally, the City has notified property owners within 250 feet of the subject parcel of the public hearing at least 15 days prior to the hearing and published notice of the public hearing in a local newspaper at least 15 days in advance. Proof of notification is on file with the City's Community Development Department.

Discussion Points/Issues

Land Use

Tim Horton's Café and Bake Shop and Reliance Bank is a combined 3,370 square foot, one-story building. The proposed building is a mixed use building with 2,403 square feet associated with Tim Horton's and 967 square feet utilized by Reliance Bank. A planned use rezoning is required because the project includes a drive-thru and because the property is already governed by an existing planned use rezoning.

Traffic Circulation/Parking

Existing Infrastructure: Regency Park will convey traffic to a private access drive which provides access to the site. Regency Park intersects Green Mount Road at a signalized intersection just south of the site. Regency Park then moves to the northwest to a signalized intersection with Highway 50, just east of Exit 14 off Interstate 64. Regency Park is a two-lane city street with a middle turn lane. The private access drive provides access to a number of parcels, including the subject property, the Green Mount Professional Building, a vacant parcel adjoining the Regency Conference Center and is the service entrance to the Regency Conference Center and Hilton Garden Inn. The private access drive is approximately 36 feet wide at Regency Park and tapers down to approximately 24 feet wide near the northern edge of the subject property.

Ingress and Egress: Access to the site will be by means of two points of access, both on the private access drive off Regency Park. The private access drive is located on an adjacent parcel, however is located within an access easement and is not a city street. The development plan proposes a right-in, right-out access approximately 55-60 feet north of Regency Park. The right-in, right-out access has a 2-foot concrete median in the private access drive to discourage left turns in and out of this particular access point. The second access point is a full access, approximately 160 feet north of Regency Park. The private access road begins to taper down at this point and is not

wide enough for a left turn lane into the Tim Horton's and Reliance Bank site. The development plan is proposing an access point to the Regency Conference Center parking lot, utilizing a blanket cross access easement for access and parking on a number of parcels adjoining the subject property.

City staff consulted Lee Cannon of CBB Traffic Engineers to analyze the proposed ingress and egress for the site and the lack of left turn into the site. Lee Cannon indicated "at this time, with the access drive only serving the Tim Horton's, back of house services of the conference center and hotel and the new office building, a left turn lane into the site is not necessary." However, Lee Cannon indicated that "if a second hotel were to be constructed or the access drive connects to the St. Elizabeth's hospital site the access drive would need to be widened to a three-lane road segment with a two-way-left-turn lane center lane."

The private land owners in the area are currently in discussions with each other about the reconstruction of the private access drive and the improvements necessary with the current developments and the potential of a second hotel adjoining the conference center and a connection to the St. Elizabeth's Hospital site. Additionally, all parties (including Tim Horton's and Reliance Bank) will be subject to a maintenance agreement for the repair, snow removal and other improvements to the private access drive.

Parking: The proposed building has two uses, a restaurant (Tim Horton's Café and Bake Shop) and a bank (Reliance Bank). Fast food restaurants have two parking ratios, and the code requires the ratio that requires the most parking spaces be applied. The first ratio is 9 parking spaces per 1,000 gross floor area (2,403 square feet = 22 spaces). The second ratio is based on number of seats and employees (38 seats + 10 employees = 26 spaces). Additionally, the code requires the bank component of the building to provide parking at a rate of 4 parking spaces per 1,000 gross floor area (967 square feet = 4 spaces). Overall, the site is required to provide 30 parking spaces. The site plan has provided 23 parking spaces on-site, with 7 spaces being utilized on the Regency Conference Center site, through the cross access easement for access and parking on a number of properties adjoining the subject property. Section 158.141 indicates that off-site parking is a required variance that must be approved by City Council, therefore, the applicant is requesting a variance.

Drive-Thru: Restaurants with drive-thru facilities require 8 stacking spaces for the drive-thru. The site plan has accommodation for the minimum of 8 stacking spaces for the drive-thru, with the ninth car beginning to stack past the curb of the drive-thru. During the review of the drive-thru for the site, Lee Cannon of CCB Traffic Engineers indicated the 95 percentile of the national average for stacking for a Tim Horton's site is 10 vehicles, which with the site plan as proposed will begin to spill into the entrance during peak times (however, not out onto the access drive). The applicant, Eric Sigurdson, has indicated that "the St. Louis market is experiencing less than 50% drive-thru traffic, compared to 60-70% in other markets." Eric Sigurdson indicated "they are now increasing the size of the building and eliminating a second drive-thru lane, but the site is planned in a manner to readily allow for a second drive-thru lane to be constructed if required to relieve any potential future stacking issues."

In addition to the drive-thru for Tim Horton's, Reliance Bank will have a drive-thru ATM. The ATM is located off the escape lane and has the ability to stack two cars without spilling into the escape lane. The City's regulations does not specify a stacking requirement for ATM, however previous approvals for ATMs in parking lots throughout the City have had stacking for three cars. In this particular instance, staff believes that two stacking spaces is adequate, with the potential to use the escape lane if a third car would queue to use the ATM.

On-site circulation: The site plan has an extra lane around the drive-thru that will act as the required escape lane around the drive-thru and provide access to an ATM for Reliance Bank. Overall once on-site, staff believes there is sufficient traffic circulation within the parking lot to maintain an efficient flow of traffic onto and throughout the site.

Parking space size: Code requires 10' x 19' parking spaces with 24' aisles (62' modules). The proposed development provides 10' x 19' parking spaces with 24' drive aisle, which complies with the regulations. The site also meets the requirements for accessible parking.

Parking lot lighting: The plan currently does not account for parking lot lighting, however the site will need to provide lighting that meets the lighting code requirements. The light poles are required to be located in landscape islands and the photometric plan will need to be submitted to indicate the site has adequate levels of lighting across the parking area. Additional details on the lighting standards will need to be provided to ensure lighting is directed toward the ground to reduce glare as required in Section 158.143.

Utilities and Drainage

Public Utilities

There are multiple water mains adjacent to the site including a 16" water main along the south side of Regency Park and an 8" water main on the east side of the private access drive. The proposed water service for the building will come off the 8" water line located along the west side of the access drive.

Sewer service will be provided by Caseyville Township Sewer District.

Drainage

Storm water will be accommodated by utilizing the existing retention (wet) basin at the southern end of the St. Elizabeth's site.

Building and Site Improvements

The proposed Tim Horton's Café and Bake Shop and Reliance Bank will have four-side visibility. The building elevations meet many of the recommendations of the Commercial Design Handbook, including use of varying building materials, incorporation of architectural components, awnings and varying roof lines. The exterior building materials include a mix of brick, stone, EIFS and glass. The mechanical units are located behind a screen wall on the roof. The dumpster is located at the north end of the parking lot area within a split face concrete block enclosure, consistent with the building design. Since the building and site will have 360 degree visibility, staff believes additional façade improvements to the north and west elevations would improve the quality of the building. Staff recommends the stone base located on most of the elevations be extended around the north and northwest side of the building.

Sidewalk

The plan proposes to leave the existing sidewalk on Regency Park. Because the access drive on the east property line is private, a sidewalk is not required along the access drive.

Landscaping and Buffer Requirements

Parking Lot Landscaping

A landscaping plan has been submitted for the site. The landscape plan includes planting meeting the City's requirements for landscaping the parking lot, street landscaping. The site plan shows multiple areas in which the 7-foot buffer around the perimeter of the parking lot is not met; along the private access drive, the northern property line and the western property line. The applicant has requested the reduction of the 7-foot buffers as a part of the site plan approval. The site currently has the necessary street trees along Regency Park, however since the private access drive is not a City street, there is not a requirement for street trees along the access drive.

Buffers

The property is surrounded by B-1(P) zoning, therefore there are no requirements for a structural buffer.

Signage

The planned use submittal includes a comprehensive sign package for the Tim Horton's Café and Bake Shop and Reliance Bank.

Freestanding Signs

According to Chapter 158, "Sign Regulations" of the Code of Ordinances, the applicant is permitted to install one freestanding sign totaling 90.5 square feet on the property, since this is a multi-tenant building. The sign package shows one freestanding sign at the corner of Regency Park and the private access drive. The monument sign is setback approximately 12 feet from the property line. The freestanding sign is proposed at 8 feet tall and 6.25 feet wide totaling 39 square feet of signage, including the 1.3 foot high stone base. The freestanding sign as proposed meets all the sign code requirements for the development.

Wall Signs

The wall signage as proposed meets most of the city's sign code requirements. Based on the size of the building and the number of tenants the sign code allows up to 10% of the wall area square footage for signage per elevation, with signage located on a maximum of 3 elevations. Each tenant is permitted to have a sign on each of the three elevations.

The proposed sign package breaks down the wall signage based on elevations, providing the approximate sign dimensions:

- South Elevation – 1,194.14 square feet (119.4 square feet of signage allowed)
 - Tim Horton's Sign: 32.58 square feet
 - Reliance Bank Sign: 30.30 square feet
 - Total of 62.88 square feet of signage on the south elevation
- East Elevation – 1,225.28 square feet (122.5 square feet of signage allowed)
 - Tim Horton's Sign: 32.58 square feet
 - Reliance Bank Sign: 39.86 square feet
 - Tim Horton's Sign: 32.58 square feet
 - Total of 105.02 square feet of signage on the south elevation
- West Elevation – 1,145.90 square feet (114.5 square feet of signage allowed)
 - Tim Horton's Sign: 27.51 square feet

The only elevation not meeting the city's sign regulation is the East Elevation, which the applicant is requesting a second sign for Tim Horton's. The applicant has requested a variance to allow the second sign for Tim Horton's.

Variations

Parking Counts: The development provides 23 parking spaces on site and proposes to utilize 7 parking spaces on the Regency Conference site, through an existing cross access agreement for access and parking. Section 158.141 requires a variance by the City Council to have required parking offsite and has to meet the following conditions:

1. The parking must be provided on a property with the same zoning classification as the property that the spaces serve, or a less restrictive zoning classification.
 - a. The Regency Conference Center is zoned B-1 (P), same as the subject property.
2. No required parking spaces may be located across any state or U.S highway from the use they are intended to serve.
 - a. The Regency Conference Center parking area and the 7 proposed off-site spaces are located adjacent to the subject property.
3. Off-property variance may be granted up to 200 feet away in the B-1 District.
 - a. The Regency Conference Center parking area and the 7 proposed off-site spaces are located adjacent to the subject property, less than 200 feet away.

The proposed offsite parking meets all the conditions and staff feels there is sufficient evidence to indicate the offsite parking will not negatively affect the development or surrounding properties.

Parking Lot Design: The landscape plan will have to meet the City's requirements, with the exception of the applicant's request to reduce the required 7-foot wide planting strip around the parking lot on the north, east and west. The petitioner has requested a variance to reduce the planting strip to ensure the appropriate drive aisles width, escape lane and potential widening of the private access drive could be facilitated. Staff would recommend smaller buffer strips along the private access drive and the parking lots adjacent to the development to ensure safe ingress/egress and onsite circulation throughout the site.

Signage: The sign code allows one wall sign for each establishment at a maximum of 10% of the wall area. The east building elevation is proposing two signs for Tim Horton's and one sign for Reliance Bank, all three signs stay under the 10% allowed signage, however Tim Horton's would only be allowed one sign on the east elevation. Overall, staff has reviewed the sign package and believes the sign package is not out of scale for the proposed development.

Review and Approval Criteria

Section 158.119 of Article 6 "Planned Uses" lists several criteria for evaluating planned uses. Evaluation of the project based on these factors is included under each criterion.

1. The criteria governing the rezoning of the property and approval of site plans, as set forth in the standards and requirements found elsewhere in the zoning code or in other applicable law,
The project meets all applicable zoning standards except for the variances identified above.
2. The physical design of the proposed plan and the manner in which said design makes adequate provisions for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and park dedication, and furthers the amenities of light, air, recreation and visual enjoyment.
The proposed development provides adequate provisions for public services, provides the necessary improvements to the control the increased traffic. Staff believes the site furthers the amenities of light, air, recreation and visual enjoyment.
3. The relationship and compatibility of the proposed plan to adjacent properties and the surrounding neighborhood.
The development includes a number of visual enhancements done to reduce the visibility of mechanical units and landscaping will be provided to help in reducing the size of the building.
4. The conformity with the standards and principles of the Comprehensive Plan and all other adopted regulations, including the Commercial Design Handbook dated July 6, 2009 and on file with the City Clerk. (Ord 3665; passed 5-3-10)
The proposal is consistent with the Comprehensive Plan and the design of the buildings meets the intent of the Commercial Design Handbook.
5. The use(s) are designed, located and proposed to be operated so that the public health, safety and welfare will be protected.
The proposed development is designed to be operated to protect the public health, safety and welfare.
6. An identified community need exists for the proposed use.
Yes, a community need exists for the proposed use.
7. The proposed use(s) will not impede the normal and orderly development and improvement of the surrounding property, nor impair the use, enjoyment, or value of neighboring properties.
The development will not impede the normal and orderly development and use of the surrounding property, nor will it impair the use, enjoyment, or value of neighboring properties.
8. The degree of harmony between the architectural quality of the proposed building and the surrounding neighborhood.
The proposed building is similar to and will not detract from many of the structures surrounding the property.

9. The appropriateness of the minimum dimensions and areas of lots and yards set forth in the applicable zoning district regulations.
The proposed development will be required to meet the area-bulk requirements set forth in the B-1 Community Business District.

Staff Recommendation

Staff recommends approval of the project with the following conditions:

1. A variance to allow 7 of the 30 parking spaces required for the site to be offsite on the Regency Conference Center, subject to the existing cross access and parking easement and Section 158.141.
2. A variance to allow the parking lot perimeter to be constructed per the site plan.
3. A variance to the sign code to allow two wall signs for Tim Horton's on the east elevation.
4. If at any such point in time where the City at its discretion, through an independent consultant, believes the drive-thru traffic is causing a problem to the general public (i.e. queuing onto the access road) Tim Horton's will be required to construct the 2nd drive-thru lane within an agreed upon timeline.
5. A service agreement with the adjoining lot owners on how to manage the necessary improvements, maintenance and repair of the access drive must be in place prior to final occupancy and a signed copy provided to the City.
6. Provide additional stone base around the north and northwest side of the building.
7. Provide additional cross access easement for the improvements to the access drive.
8. A landscaping plan shall be submitted in accordance with the standards of Section 158.144.

Attachments

- Attachment 1 – Project Application
- Attachment 2 – Zoning Map
- Attachment 3 – Surrounding Land Use Map
- Attachment 4 – Site Plan
- Attachment 5 – Building Elevations
- Attachment 6 – Sign Package



Planned Use / Re-Zoning Application

NAME OF PROJECT: Tim Hortons Cafe & Bake Shop

ADDRESS/GENERAL LOCATION: 450 Regency Park O'Fallon, IL 62269

SUBDIVISION NAME & LOT NUMBER(S): Shoppes at Green Mount 03-36.0-204-017

PARCEL NUMBER(S): 03360204017

PLEASE CHECK THE TYPE OF APPLICATION (PLEASE CHECK ONE):

- PLANNED USE
- RE-ZONING (STANDARD MAP AMENDMENT)

SUMMARY DATA (RESPOND TO ALL THAT APPLY):

PRESENT ZONING: B-1(P) Community Business District PROPOSED NUMBER OF BUILDINGS: 1

PROPOSED ZONING: B-1(P) Community Business District PROPOSED GROSS FLOOR AREA: 3,370 GFA

PROPOSED # OF LOTS: 1 AREA IN ACRES: 0.80 Acre (34,752 SF)

PROPOSED # OF DWELLING UNITS: 1 PRESENT USE: Open Lot

APPLICANT INFORMATION:

NAME: Eric Sigurdson

COMPANY: Show Me Hospitality, LLC

ADDRESS: 1254 Hanley Industrial Court
St. Louis, MO 63144

PHONE: 314-989-1000

FAX: _____

EMAIL: esigurdson@timhortonsstl.com

Eric Sigurdson BD

SIGNATURE OF APPLICANT

DESIGN PROFESSIONAL INFORMATION:

NAME: Bob Dunn

COMPANY: Fox Architects

ADDRESS: 1 Memorial Drive, Suite 1800
St. Louis, MO 63102

PHONE: 314-621-4343 x115

FAX: 314-621-0261

EMAIL: bdunn@fox-arch.com

SIGNATURE OF DESIGN PROFESSIONAL

STAFF USE ONLY	
DATE RECEIVED: _____	PROJECT ID #: _____
APPLICATION RECEIVED BY: _____	STAFF ASSIGNED: _____
APPLICATION FEE: _____	PLAN REVIEW FEE DEPOSIT REC'D: _____

November 02, 2015

Mr. Justin L. Randall, AICP
Senior City Planner
Community Development Department
255 South Lincoln
O'Fallon, IL 62269
USA

Re: Tim Hortons P&Z Submittal on behalf of Show Me Hospitality, LLC (SMH)

Dear Justin,

Fox Architects (FOX) is pleased to submit the attached P&Z Submittal for the above referenced project.

The project is a mixed use for Tim Hortons Café and Bake Shop with Reliance Bank (Bakery and Bank). The Bakery is 2,403 GFA and the Bank is 967 GFA for a total of 3,370 GFA with a maximum building height of 19'-0" above grade. The building will be constructed for all A2 use Bakery and the construction type is all 5B unprotected. The Bank being a lesser B use does not figure into the allowable buildable area and egress calculations; A2 use as noted. But the parking calculations and occupancy calculations for plumbing fixture counts do take into account the lesser Bank requirements for B use.

The building is all designed to meet Tim Hortons (TH) branding and design intent for the Bakery and only the Bank signage is added to the building design itself. The TH standards are being changed from cementitious concrete siding to an EIFS to work with the surrounding O'Fallon design standards for the French Roast (dark brown) as noted in the attached submittal.

All P&Z requirements are planned to meet the City of O'Fallon (City) and state of Illinois building codes except for: set back to side street were we are matching existing curbs in place but plan to accommodate a future street widening with a parking layout. Building signage is larger than City ordinances per building elevation SF but needs to be as illustrated to meet TH standards and Bank in the same smaller building.

SNH does have a traffic study under way and plan to submit the finding this week. Our preliminary finding shows that the Bakery and Bank should not impact the Regency Conference Center but we illustrate a back-up plan at SMH expensive that will not impact the Conference Center traffic.

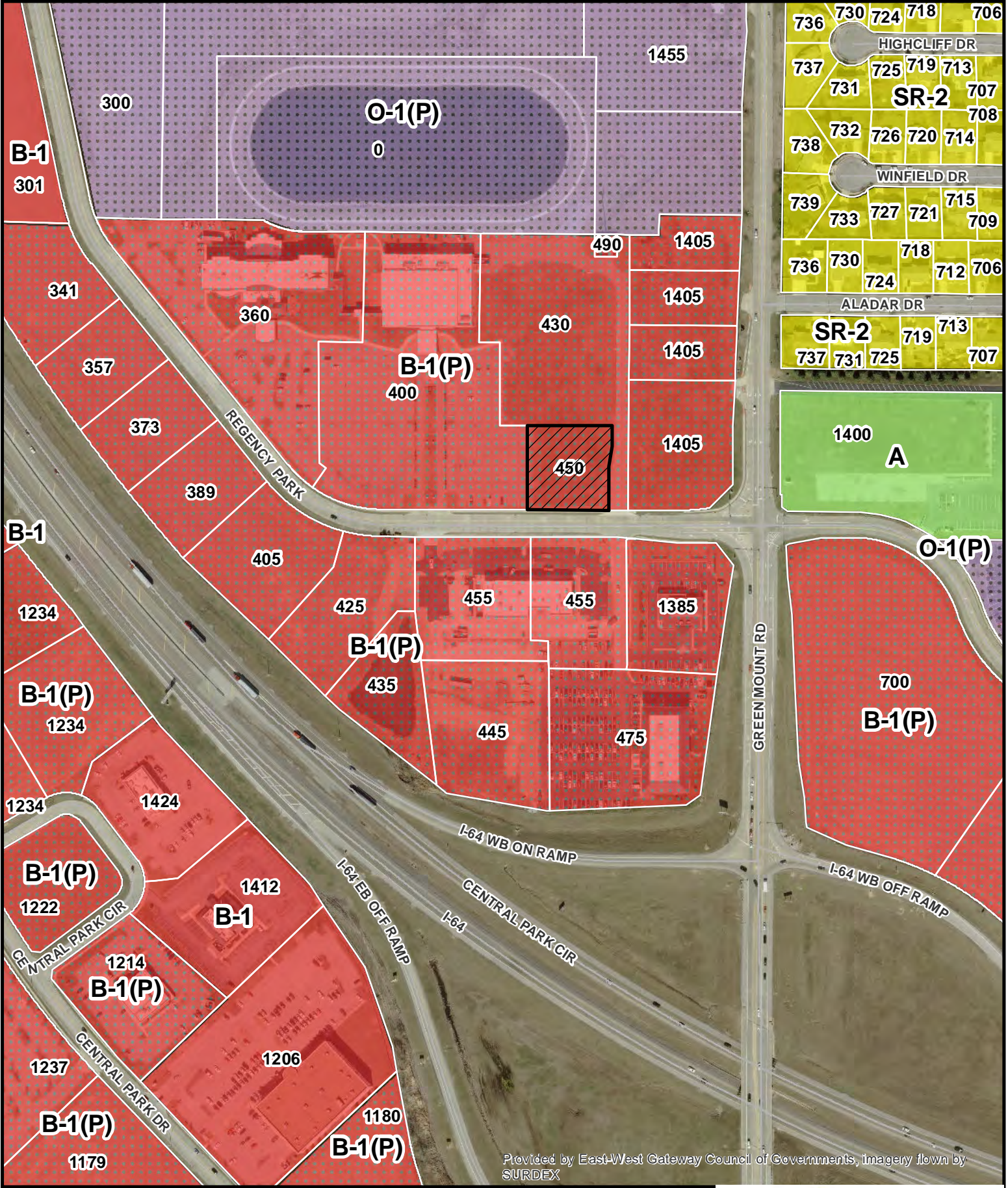
Sincerely,
Fox Architects



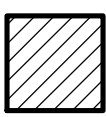
Bob Dunn
Principal

Enclosure

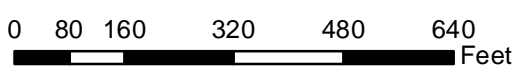
P2015-17: Tim Horton's & Reliance Bank - Zoning Map



Provided by East-West Gateway Council of Governments, imagery flown by SURDEX



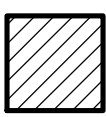
Subject Property



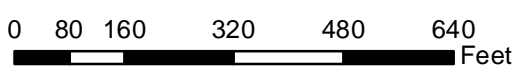
P2015-17: Tim Horton's & Reliance Bank - Land Use Map



Provided by East-West Gateway Council of Governments, imagery flown by SURDEX



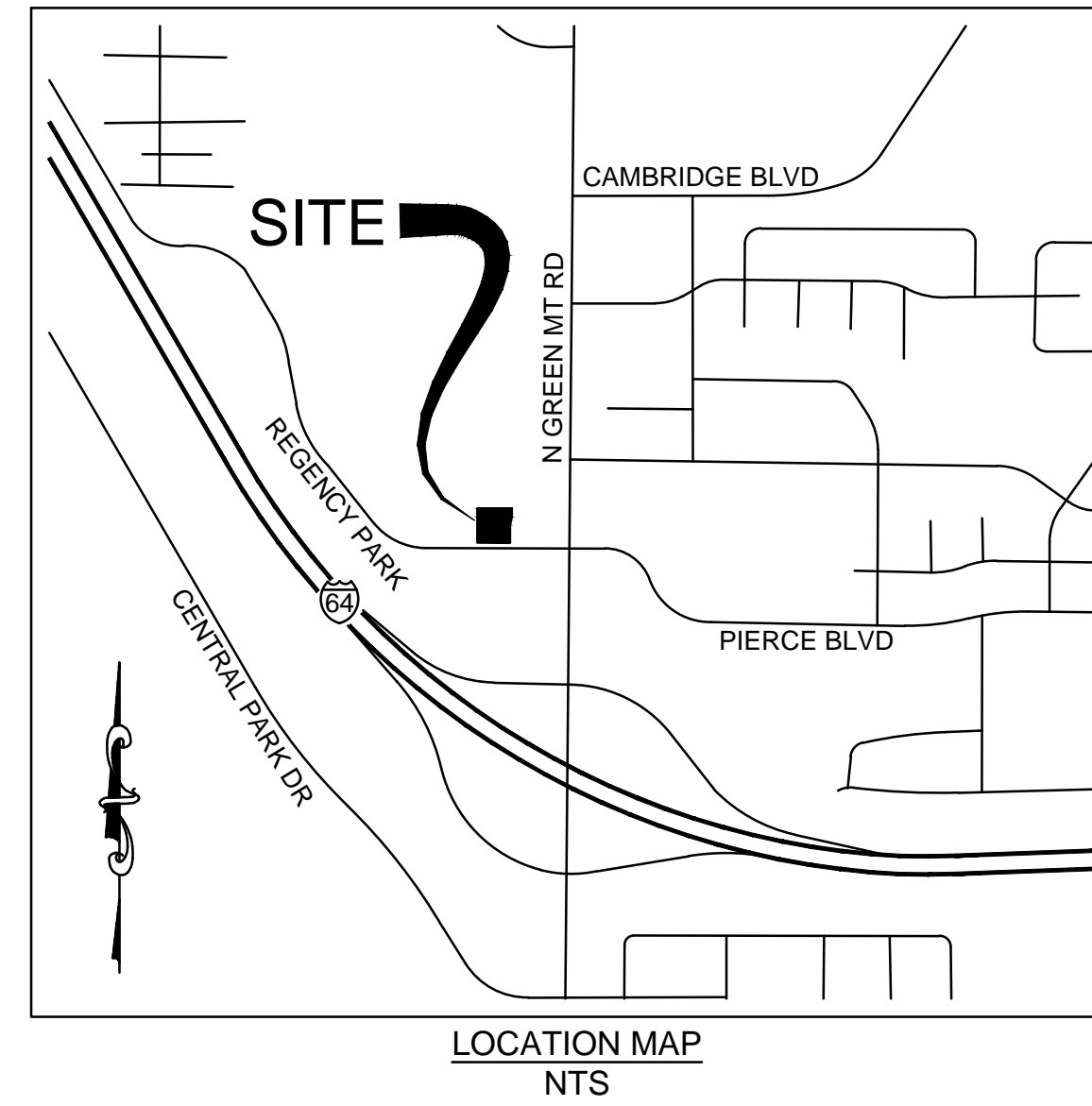
Subject Property



PRELIMINARY SITE PLAN FOR TIM HORTON'S CAFE & BAKE SHOP AND RELIANCE BANK

450 REGENCY PARK

A TRACT OF LAND BEING ALL OF LOT 12D OF THE SHOPPES AT GREEN MOUNT,
REFERENCED BEING HAD TO THE PLAT THEREOF RECORDED IN PLAT BOOK 104
PAGE 61 IN THE ST. CLAIR COUNTY, ILLINOIS LAND RECORDS
BEING LOCATED IN THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH,
RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN,
ST. CLAIR COUNTY, ILLINOIS



DISTURBED AREA = 0.84 ACRES

BENCHMARK:
U.S.G.S. DATUM, ST. CLAIR COUNTY HIGHWAY DEPARTMENT BRASS TABLET
PID - JB1367 ELEV.=549.28

SITE BENCHMARK:
"U" ON SOUTHERN EDGE OF EXISTING CONCRETE CURBED ISLAND LOCATED AT
NORTHWEST CORNER OF SITE. ELEV = 540.20'

ELECTRONIC DRAWING NOTE:

ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.

SHEET INDEX

Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	SITE PLAN
C-3	UTILITY AND GRADING PLAN
L-1	LANDSCAPE PLAN

SUMMARY TABLE:

- SITE AREA = 0.80 AC. (34,802 SF)
- MAXIMUM GROSS FLOOR AREA = 2:1 RATIO
- PROPOSED GROSS FLOOR AREA = 3,370 SF + 34,802 SF = 9.68%
- PERCENTAGE (%) OF BUILDING COVERAGE = 10%
- EXISTING ZONING - B-1 (P) COMMUNITY BUSINESS DISTRICT
- PROPOSED ZONING - B-1 (P) COMMUNITY BUSINESS DISTRICT
- REQUIRED BAKERY PARKING - (9 SPACES PER 1,000 SF) = 2,403 SF + 1,000 = 22 SPACES
REQUIRED BANK PARKING - (4 SPACES PER 1,000 SF) = 967 SF + 1,000 = 4 SPACES
TOTAL PARKING REQUIRED - 26 SPACES
- PROVIDED PARKING - 10'X19' 21 SPACES
ADA 2 SPACES
TOTAL 23 SPACES
- PROPOSED BUILDING HEIGHT - 19'-0"

SITE COVERAGE CALCULATIONS

Site Area = 0.80 Acres
Existing Impervious Area Parking Lot and Building
0.00 Acres of Pavement
0.00 Acres of Building
Existing Pervious Area
0.80 Acres

Existing percent of Impervious Area Coverage = 0%
Existing Pavement Areas = 0.00 Acres @ 3.54 = 0.00 cfs
Existing Grass Areas = 0.80 Acres @ 1.70 = 1.36 cfs
Total = 1.36 cfs

Proposed Impervious Area Parking Lot and Building
0.55 Acres of Pavement
0.08 Acres of Building
Proposed Green Space
0.17 Acres of Green Space

Proposed Percent of Impervious Area Coverage = 79%
Proposed Impervious Areas
Pavement Areas = 0.55 Acres @ 3.54 = 1.95 cfs
Buildings Areas = 0.08 Acres @ 3.54 = 0.28 cfs
Proposed Pervious Areas
Proposed Grass = 0.17 Acres @ 1.70 = 0.29 cfs
Total Run-off = 2.52 cfs

Differential Run-off: 2.52 cfs (Proposed) - 1.36 cfs (Existing) = 1.16 cfs

CITY COUNCIL APPROVAL:

The Preliminary Site Plan for the Tim Hortons/Regency Bank was approved by the City Council of the City of O'Fallon, Illinois on the ____ day of _____, 20__.

Mayor _____ Date _____

Attest:

City Clerk _____ Date _____

Project Directory

OWNER / DEVELOPER

Show Me Hospitality, LLC
1254 Hanley Industrial Court
St. Louis, MO 63144
314-989-1000
Contact: Eric Sigurson

ARCHITECT

Fox Architects
1 Memorial Drive, Suite 1800
St. Louis, MO 63102
314-621-4343 x-115
Contact: Bob Dunn

CIVIL ENGINEER

Premier Civil Engineering, LLC
308 TCW Court
Lake Saint Louis, MO 63367
314-925-7453
Contact: Debbie Stosz

SURVEYOR

Premier Civil Engineering, LLC
308 TCW Court
Lake Saint Louis, MO 63367
314-925-7456
Contact: David Maxwell

MUNICIPALITY

City of O'Fallon
255 South Lincoln
O'Fallon, IL 62269
618-624-4500
Contact: Justin Randall

UTILITY CONTACTS

City of O'Fallon Water
255 South Lincoln
O'Fallon, IL 62269
618-624-4500 x-3
Contact: T.B.D.

Electric

Ameren Illinois Electric
PO Box 88034
O'Fallon, IL 60680
1-888-659-4540
Contact: T.B.D.

Gas

Ameren Illinois Gas
PO Box 88034
O'Fallon, IL 60680
1-888-659-4540
Contact: T.B.D.

Telephone

AT&T Business Communication Services
1-800-660-3000
Contact: T.B.D.

Fire Department

O'Fallon Fire Department
1215 Taylor Road
O'Fallon, IL 62269
618-624-4515
Contact: Chief Brent Saunders

Sanitary Sewer

Caseyville Township
10001 Bunkum Road
Fairview Heights, IL 62208
618-398-6248
Contact: Jeff Bevirt

EXISTING LEGEND	
○	FOUND IRON PIPE
⊙	SET IRON PIPE (2012007849)
□	FOUND STONE MONUMENT
⊕	FIRE HYDRANT
⊕	WATER VALVE
⊕	WATER METER VAULT
⊕	IRRIGATION CONTROL VALVE
⊕	GAS VALVE
⊕	GAS METER
⊕	LIGHT STANDARD
⊕	CLEAN OUT
⊕	SANITARY SEWER MANHOLE
⊕	STORM SEWER MANHOLE
⊕	STORM SEWER GRATE INLET
○	PIPE BOLLARD
∟	SIGN
○	BUSH
○	TREE
□	TRAFFIC SIGNAL BOX
⊕	MONITORING WELL
⊕	TEST HOLE
⊕	TELEPHONE LINE MARKER
⊕	ELECTRIC METER
⊕	STORM CURB INLET
⊕	STORM DOUBLE CURB INLET
⊕	AIR CONDITIONER
⊕	DOWN SPOUT
B.O.C. BACK OF CURB	
—E _x —	EX. ELECTRIC (O/H/D)
—E _x —	EX. ELECTRIC (UGRD)
—G _x —	EX. GAS
—W _x —	EX. WATER
—C _x —	EX. COMMUNICATION

PROPOSED LEGEND	
○	UTILITY POLE
⊕	FIRE HYDRANT
⊕	VALVE
⊕	WATER METER VAULT
⊕	GAS METER
⊕	LIGHT STANDARD
⊕	CLEAN OUT
⊕	MONITORING WELL
⊕	SANITARY SEWER MANHOLE
⊕	STORM SEWER MANHOLE
⊕	GRATE INLET
⊕	DOUBLE CURB INLET
○	PIPE BOLLARD
∟	SIGN
□	ELECTRIC METER
—UgE—	UNDERGROUND ELECTRIC
—UgT—	UNDERGROUND TELEPHONE
—1.5"W—	1.5" WATER MAIN
—6"W—	6" WATER MAIN
—8"W—	8" WATER MAIN
—G—	GAS LINE
—507—	CONTOUR LINE
D.S.	DOWN SPOUT
A.T.G.	ADJUST TO GRADE
TYP.	TYPICAL

I:\Vault\p\civil\CIVIL_3D_PROJECTS\2015\156801 - TIM HORTONS - O'Fallon, IL\COMMERCIAL\SITE PLAN\COVER SHEET.dwg



NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

FoxArchitects

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63102
St. Louis, Missouri
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Fax: 314.621.4343
fox@fox-arch.com
www.fox-arch.com

OWNER

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1254 Hanley Industrial Court
St. Louis, MO 63114
314.989.1000

MEP ENGINEERS (Design/Build)

SSC Engineering
18207 Edison Avenue
Chesterfield, MO 63005
636.530.7770

CIVIL ENGINEERS

Premier Civil Engineering
308 TCW Court
Lake Saint Louis, MO 63367
314.925.7444



Project
**Tim Hortons Cafe & Bake Shop
and Reliance Bank**
450 Regency Park
O'Fallon, IL 62269
Sheet No.
COVER SHEET

Revisions

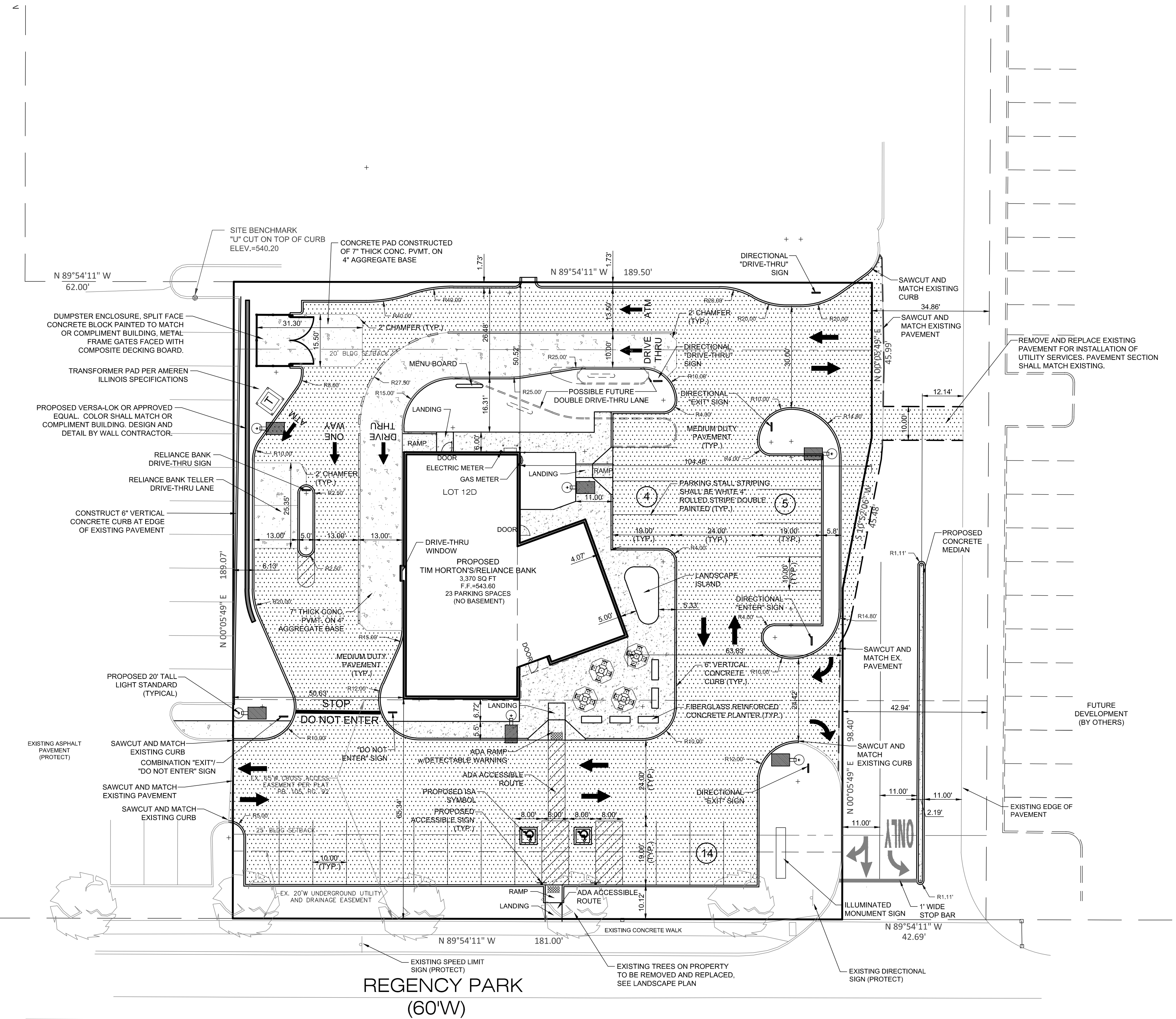
Date **12/04/15**
Sheet No.

C-1

Project No. **1439.02**
Drawn By **DLS**
Checked By **MTF**



NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.



REGENCY PARK
(60'W)

SITE PLAN NOTES:

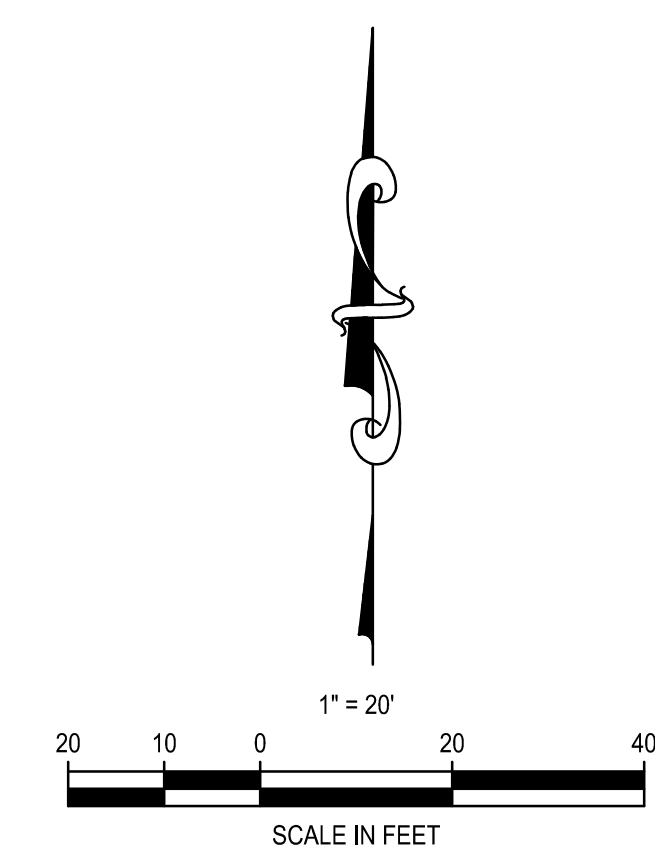
- PRESENT ZONING: B-1 (P) COMMUNITY BUSINESS DISTRICT
- SITE AREA = 0.80 ACRES
- PROPOSED USE - TIM HORTONS CAFE & BAKE SHOP AND RELIANCE BANK
- PROPOSED BUILDING HEIGHT - 19'-0"
- PROPOSED LIGHT POLE HEIGHT AT FINISHED GRADE - 20 FEET
- FRONT YARD - MINIMUM REQUIRED SETBACK, BUILDING: TWENTY-FIVE (25) FEET
- SIDE YARD - MINIMUM REQUIRED SETBACK, BUILDING: NONE (0) FEET
- REAR YARD - MINIMUM REQUIRED SETBACK, BUILDING: TWENTY (20) FEET
- PARKING - MINIMUM REQUIRED SETBACK: NONE
- REQUIRED BAKERY PARKING - (9 SPACES PER 1,000 SF) = 2,403 SF + 1,000 = 22 SPACES
REQUIRED BANK PARKING - (4 SPACES PER 1,000 SF) = 967 SF + 1,000 = 4 SPACES
TOTAL PARKING REQUIRED - 26 SPACES
- PROVIDED PARKING - 10'X19' 21 SPACES
ADA 2 SPACES
TOTAL 23 SPACES
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 17163C0210 D, PANEL 210 OF 555, ST. CLAIR COUNTY, ILLINOIS AND INCORPORATED AREAS DATED NOVEMBER 5, 2003 - THE PROPERTY IS IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF OFALLON REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF OFALLON SPECIFICATIONS.
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE LIGHTING SECTION OF THE CITY OF OFALLON.
- SIDEWALKS ALONG ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20. SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAC), ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAC GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAC GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE CITY OF OFALLON SPECIFICATIONS.
- SEEDING, SODDING, MULCHING, AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- ANY LAND DISTURBANCE ACTIVITY INVOLVING MORE THAN ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
- ALL HVAC AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE RIGHT-OF-WAY AND ADJACENT PARCELS.

PROPERTY DATA

OWNER	SHOW ME HOSPITALITY, LLC
ADDRESS	450 REGENCY PARK O'FALLON, IL 62269
PARCEL ID	0336204017
TOTAL AREA	0.80 ACRES
FIRE DISTRICT	O'FALLON FIRE DISTRICT
ELECTRIC COMPANY	AMEREN ILLINOIS ELECTRIC
GAS COMPANY	AMEREN ILLINOIS GAS
SEWER DISTRICT	CASEVILLE TOWNSHIP
WATER COMPANY	CITY OF OFALLON
TELEPHONE COMPANY	AT&T
CABLE TV COMPANY	CHARTER CABLE
FEMA MAP	17163C0210D - NOVEMBER 5, 2003

PAVEMENT NOTES

- ASPHALT PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
1.5" TYPE "C" SURFACE COURSE
3.5" TYPE "X" BINDER COURSE
6" BASE ROCK
OR ALTERNATE CONCRETE PAVEMENT
- CONCRETE PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
6" PORTLAND CEMENT CONCRETE
4" BASE ROCK
- CONCRETE DUMPSTER PAD AND LOADING AREA PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON PLAN)
7" PORTLAND CEMENT CONCRETE
4" COMPACTED GRANULAR BASE
- THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING THE PROPOSED JOINTING PATTERN TO THE ENGINEER FOR REVIEW PRIOR TO CONCRETE PAVEMENT CONSTRUCTION
- THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT WHEN REPORT HAS BEEN COMPLETED BY GEOTECHNICAL ENGINEER.



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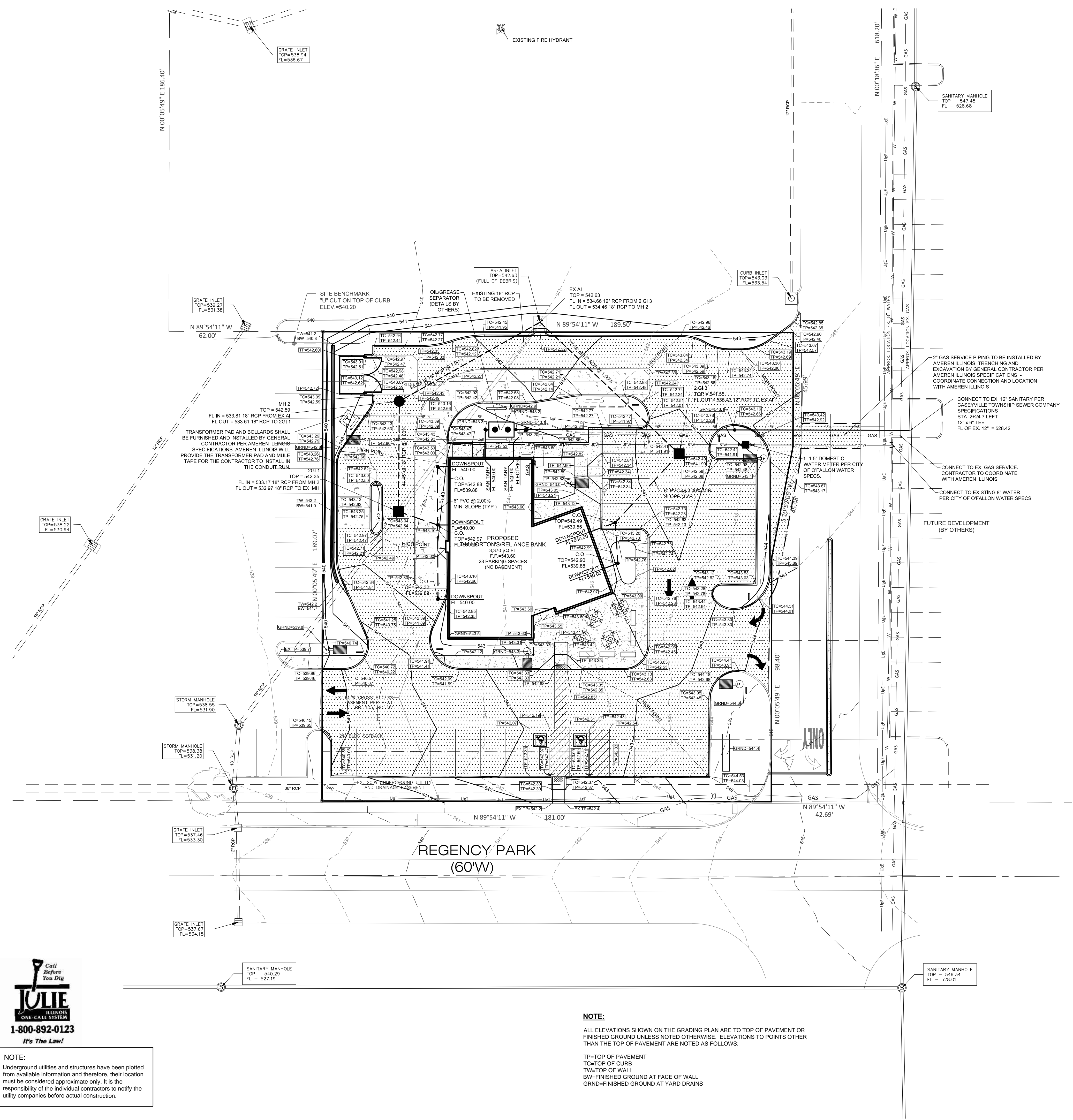
Project
Tim Hortons Cafe & Bake Shop and Reliance Bank
450 Regency Park
O'Fallon, IL 62269
Sheet No.
SITE PLAN

Date **12/04/15**
Sheet No.

C-2

Project No. **1439.02**
Drawn By **DLS**
Checked By **MTF**

\\vault-pc\share\civil\3D PROJECTS\2015\156801 - OFallon, IL\COMMERCIAL\SITE PLAN\UTILITY AND GRADING PLAN.dwg



GRADING NOTES:

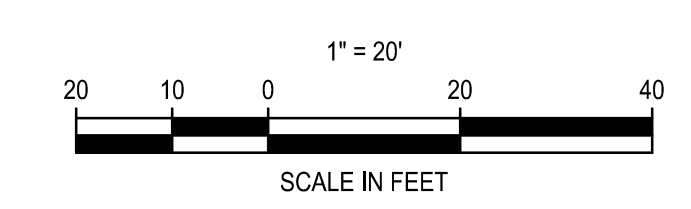
1. THE CONTRACTOR SHALL RESTORE OFFSITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL GRADES SHALL BE WITHIN 0.1 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
3. NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SOODED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED OR DETAILED.
4. THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION AND TREES AND INCLUDING THE REMOVAL AND DISPOSAL OF SAME IN HIS BID.
5. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE OWNER.
6. SILTATION CONTROL WILL BE PROVIDED AS REQUIRED TO PREVENT RUN-OFF. SEE SILTATION CONTROL PLAN AND DETAILS.
7. ALL TRASH, DEBRIS, ORGANIC MATERIAL, REFUSE, FROZEN EARTH, ETC., SHALL BE REMOVED FROM FILL AREAS PRIOR TO THE PLACEMENT OF CONTROLLED FILL. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL, AND DEBRIS.
8. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL PER THE EROSION AND SEDIMENT CONTROL PLAN AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES AS REQUESTED BY THE CITY OF OFALLON. SHOULD EROSION CONTROL PLAN PROVE TO BE INSUFFICIENT.
9. CARE SHALL BE EXERCISED IN COMPACTION OF BACKFILL MATERIALS ABOVE THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES, JOINTS, SEALS AND/OR THE PIPES AND STRUCTURES THEMSELVES. COMPACTION AND PLACING OF BACKFILL AND FILL MATERIALS SHALL BE PERFORMED UNDER THE CONTINUOUS SUPERVISION OF AN APPROVED TESTING LABORATORY. FILL SHALL NOT BE PLACED ON FROZEN GROUND, NOR SHALL FILLING OPERATIONS CONTINUE WHEN THE TEMPERATURE IS SUCH AS TO PERMIT THE LAYER UNDER PLACEMENT TO FREEZE.
10. ALL CITY, COUNTY, AND STATE ROADS SHALL BE KEPT FREE OF DIRT DAILY.
11. FINAL GRADES AT THE PROJECT BOUNDARY SHALL MATCH EXISTING ELEVATIONS UNLESS OTHERWISE SHOWN.
12. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH THE CITY OF OFALLON AND IEPA STANDARDS.
13. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF OFALLON AND IEPA STANDARDS.
14. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
15. ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE PERMIT FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN (1) ONE ACRE IS AN ORDINARY LAND DISTURBANCE AND THE APPROPRIATE PERMIT(S) MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
16. G.C. TO BE AWARE THAT A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/APPRAVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
17. ALL UTILITY SPOLS SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S BID. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR AND UTILITY INSTALLER.

UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATER LINES AND 3'-6" ON ALL SANITARY SEWER LINES.
4. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE CO.
5. EXISTING UTILITIES SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION OF ANY NEW LINES.
6. REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN LOCATIONS FOR UTILITIES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
9. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND AMEREN ILLINOIS FOR EXACT LOCATION OF GAS ENTRY. G.C. TO INCLUDE IN BID FOR CONTRACTOR. ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY AMEREN ILLINOIS.
10. CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND AMEREN ILLINOIS FOR EXACT LOCATION OF ELECTRIC ENTRY. G.C. SHALL INCLUDE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY AMEREN ILLINOIS IN HISHER BID.
11. SEE MEP PLANS FOR GAS SERVICE SIZING.
12. ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
13. THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
14. THE EXISTING INLETS NOTED ARE TO BE INSPECTED BY THE CITY OF OFALLON AND A DETERMINATION MADE IF REPLACEMENT IS NEEDED. EXISTING TOP OF STRUCTURES AND ALL FLOWLINES OF STRUCTURES ARE TO BE REPLICATED PER PLANS IF REPLACEMENT IS REQUIRED. CONTRACTOR TO INCLUDE REMOVAL AND REPLACEMENT OF STRUCTURES IN BID.
15. ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
16. G.C. IS TO PROVIDE TRENCH, WIRE, AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES. BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION.
17. G.C. TO PROVIDE OPENING FOR ILLINOIS AMERICAN WATER COMPANY TO MAKE TAP. G.C. IS ALSO TO PROVIDE TRENCH, BACKFILL, AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
18. ALL LANDSCAPE ISLANDS AND GREEN SPACE INCLUDING THE RIGHT-OF-WAY, SHALL BE IRRIGATED. SEE LANDSCAPE PLAN FOR AREAS TO BE IRRIGATED.
19. THE CONTRACTOR SHALL INCLUDE FOR TELEPHONE INSTALLATION COSTS BY THE LOCAL PHONE COMPANY IN HISHER BID.
20. THE CONTRACTOR SHALL INCLUDE THE COST ESTIMATE PROVIDED BY AMEREN ILLINOIS IN HISHER BID FOR THE RELOCATION OF ANY OVERHEAD ELECTRIC OR GUY WIRES.
21. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE CITY OF OFALLON PUBLIC WORKS DEPARTMENT FOR THE PROPOSED STORM AND SANITARY INFRASTRUCTURE FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
22. ANY DISTURBED SIDEWALK SHALL BE FULL SLAB REPLACEMENT.
23. EXISTING SANITARY SERVICE SHALL NOT BE INTERRUPTED.
24. IRRIGATION PLAN WILL BE BY OTHERS. ALL REQUIRED CONDUIT UNDERNEATH THE PAVEMENT SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND INSTALLED PRIOR TO CURB AND PAVEMENT INSTALLATION.
25. ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY THE CITY OF OFALLON WATER.
26. CONNECTION TO PUBLIC SEWER MAINS SHALL BE AS REQUIRED BY CASEVILLE TOWNSHIP SANITARY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROVIDER PRIOR TO CONNECTION TO PUBLIC SEWERS.

NOTE:
ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:

TP=TOP OF PAVEMENT
TC=TOP OF CURB
TW=TOP OF WALL
BW=FINISHED GROUND AT FACE OF WALL
GRND=FINISHED GROUND AT YARD DRAINS



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Project
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and Reliance Bank
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UTILITY AND GRADING PLAN

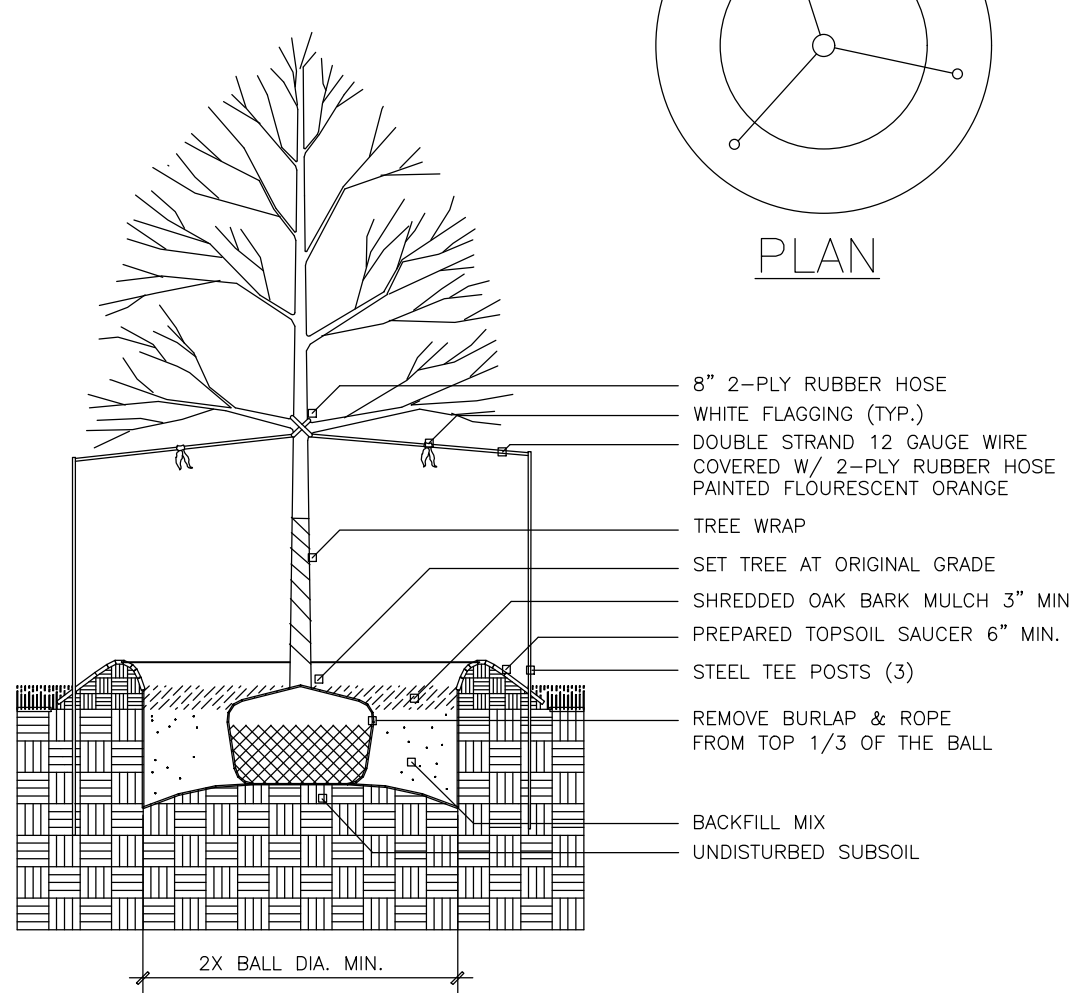
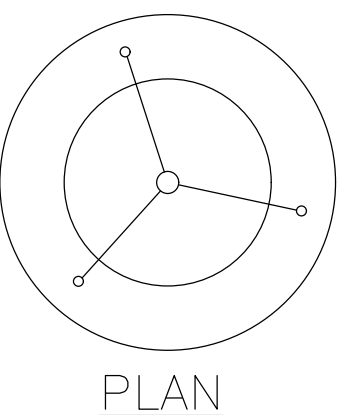
Date: 12/04/15
Sheet No.

C-3

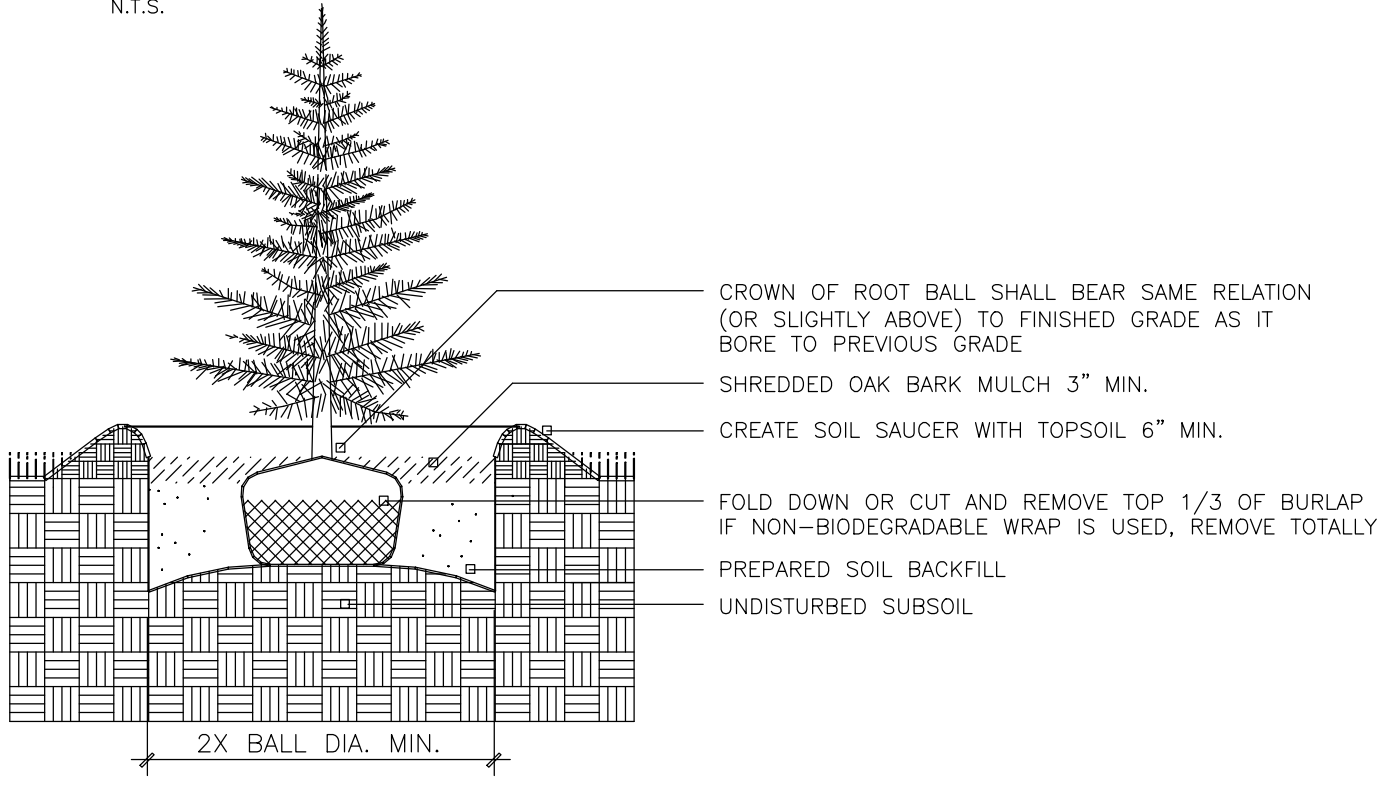
Project No. 1439.02
Drawn By DLS
Checked By MTF



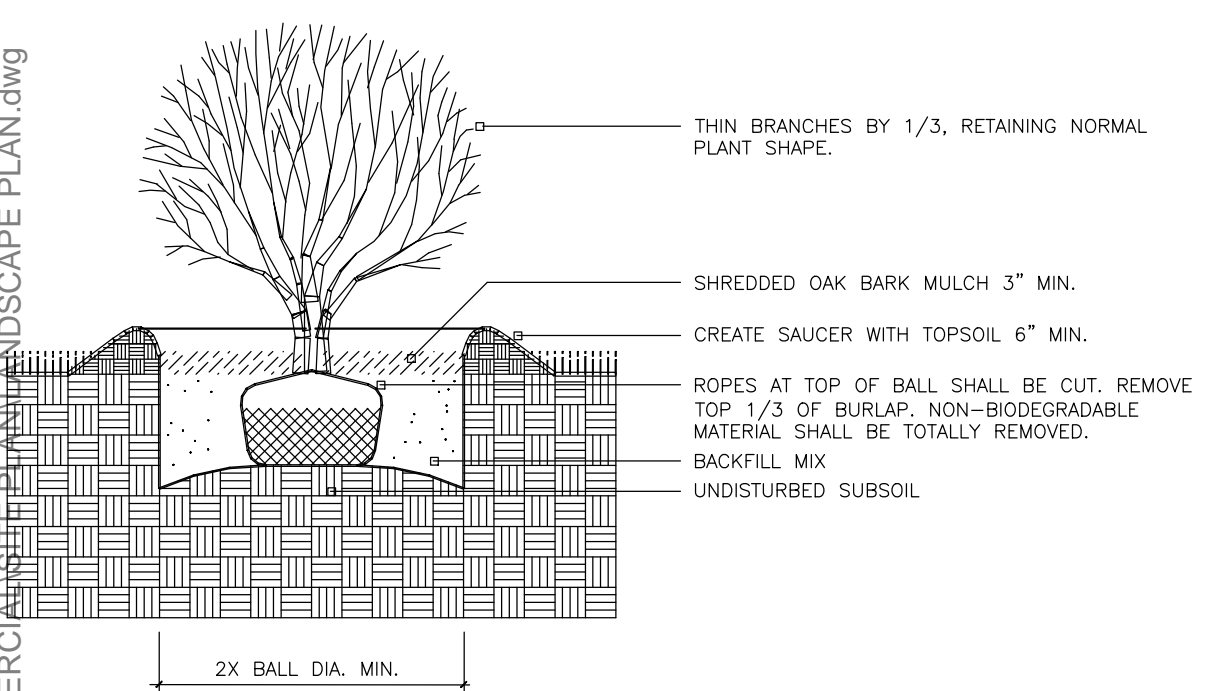
NOTE:
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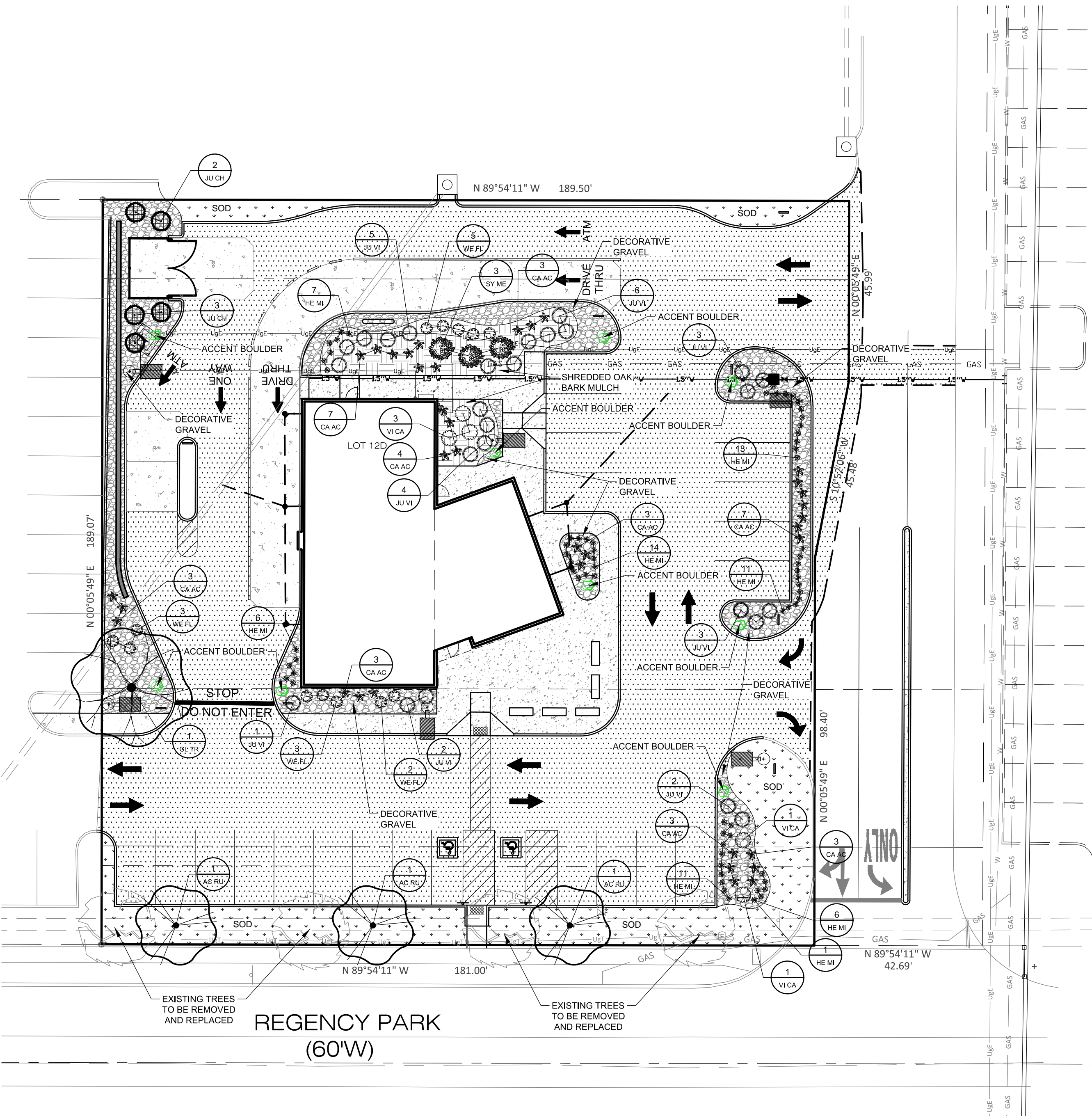
DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



REGENCY PARK (60'W)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	AC RU	3	Acer rubrum 'October Glory'	OCTOBER GLORY MAPLE	B & B	1.5"-2.0"	8' H X 10' W
	GL TR	1	Gleditsia triacanthos 'Skyline'	SKYLINE HONEY LOCUST	B & B	1.5" CAL	6'-7'
	JU CH	5	Juniperus chinensis 'Keteleeri'	KETELEERI CHINESE JUNIPER	B & B		4-6'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
	CA AC	36	Calamagrostis x acutiflora 'Karl Foerster'	FEATHER REED GRASS	5 GAL		
	HE MI	68	Hemerocallis middendorffii	DAYLILY	1 GAL		
	JU VI	27	Juniperus virginiana 'Grey Owl'	EASTERN REDCEDAR	5 GAL		
	SY ME	3	Syringa meyeri 'Palibin'	DWARF KOREAN LILAC	5 GAL		
	VI CA	5	Viburnum carlesii 'Compactum'	KOREAN SPICE VIBURNUM	5 GAL		
	WE FL	13	Weigela florida 'Dark Horse'	WEIGELA	5 GAL		

LANDSCAPE GUIDELINE SPECS.

- GENERAL:
- All landscape material shall conform to the City of O'Fallon, IL standards.
 - All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing vegetation or structures from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to the public.
 - The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently shown or known. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of all utilities. (Call JULIE, 1-800-892-0123)
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to a depth of 6" minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z60.1 *American Standards for Nursery Stock*.
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the landscape architect prior to acceptance. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.
 - All plant material to be transplanted shall be in accordance to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

- INSURANCE:
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

- MULCH:
- All mulch to be shredded oak bark mulch at 3" depth after compaction (unless otherwise noted). Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - No plastic sheeting or filter fabric shall be placed beneath shredded oak bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds.
 - Landscape beds that have decorative gravel and mulch within the same area, and landscape beds not bordered by concrete curbing or walks shall be edged with permatoc aluminum landscape edging, proline series, color black.

- MAINTENANCE:
- Landscape contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
 - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.

- TOPSOIL:
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
 - Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the percentage (%) of organic matter, inorganic matter, deleterious material, pH and mineral content.
 - Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material.
 - Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded oak bark mulch.

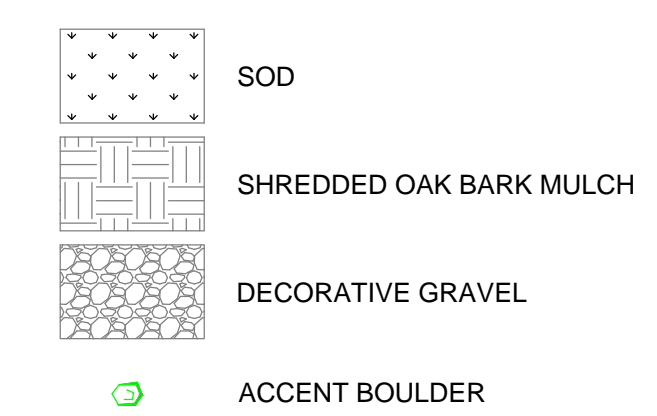
- MISC. MATERIAL:
- Provide stakes and deadman of sound, new hardwood, free of knotholes and defects.
 - Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

- TURF:
- All disturbed lawn areas to be sodded with a turf-type fescue, cut at a uniform thickness of 3/8". No broken pieces, irregular pieces or torn pieces will be accepted. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance.
 - Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
 - All sod shall be placed a maximum of 24 hours after harvesting.
 - Recondition existing lawn areas damaged by contractor's operations including equipment/ material storage and movement of vehicles.
 - Sod contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.
 - Off-site land disturbed shall be sodded.

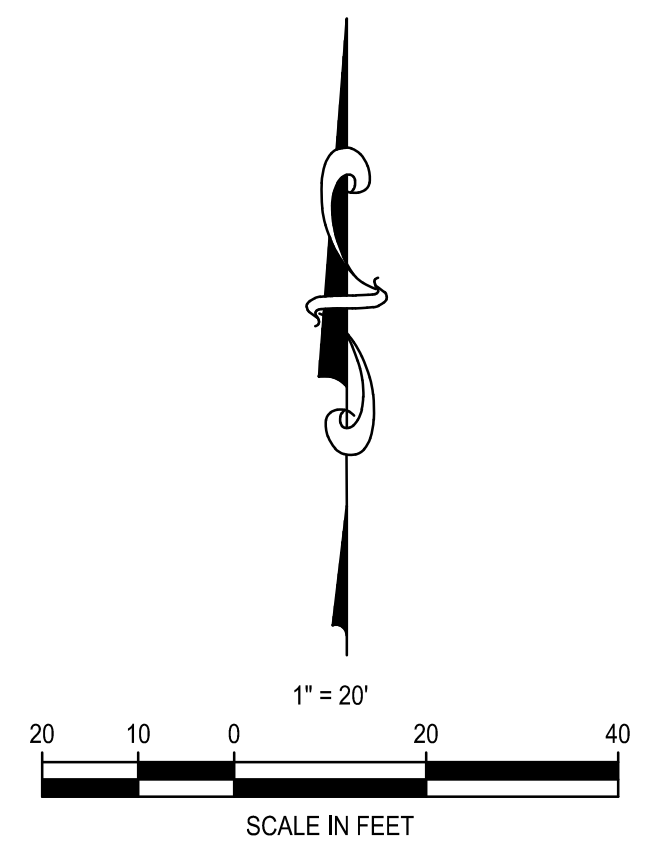
- SIGHT TRIANGLES:
- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - The triangle adjacent to street intersections shall be formed by measuring from the point of intersection of the front and side lot lines a distance of 20' minimum along said front and side lot lines and connecting the points so established to form the sight triangle area.

- WARRANTY:
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
 - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for the plant.
 - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
 - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.

- IRRIGATION:
- This site shall not have irrigation.



Note:
Shredded Oak Bark Mulch to be used for all planting beds and rings around trees (per detail) 3 inches thick after compaction.



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 O'Fallon, IL 62269
 Sheet No.
LANDSCAPE PLAN

Revisions
 Date **12/04/15**
 Sheet No.

Project No. **1439.02**
 Drawn By **DLS**
 Checked By **MTF**

L-1

City of O'Fallon P&Z

Floor Plan



Parking Calculations

Bakery	Bank
2,403 GFA	967 GFA
9/1000 Parking	4/1000 Parking
21.6 spaces	+ 3.9 spaces = 25.5 (26)

Occupancy Calculations (restrooms)

Bakery	Bank
1,091 GFA	902 GFA
Equipment	B-Business
200 sf/p = 5.46 p	100 sf/p = 9.02 p

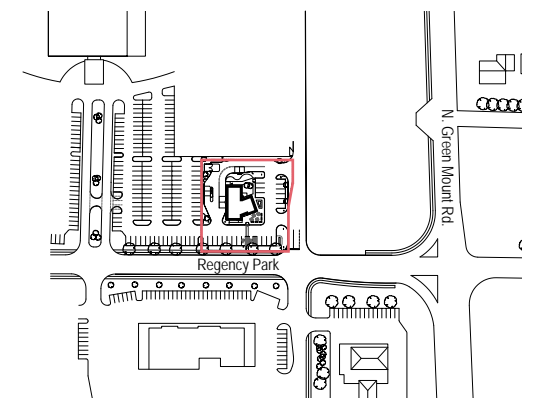
A2 Restaurant
 844 GFA
 15 sf/p = 65.27 p

None Occupied Spaces
 468 + 65 = 533 GFA
 0 sf/p = 0 p

Total People 70.75 p **(71)**

Building

3,370 GFA
 46 Seats Shown

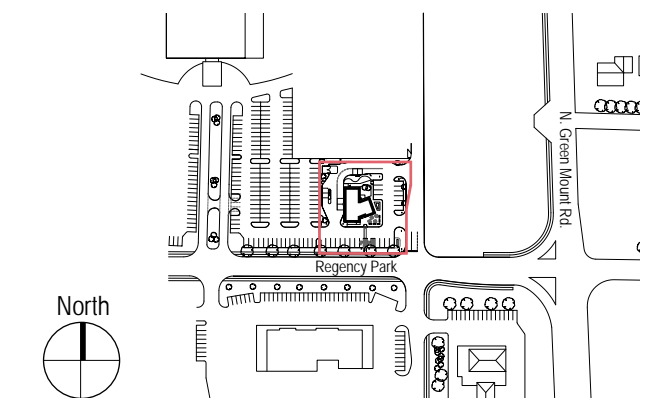


City of O'Fallon P&Z

Site Design

Keyed Notes:

1. Internally illuminated monument, see detail.
2. Internally illuminated buildings sign, TH logo.
3. Not shown this view.
4. Internally illuminated buildings sign, Bank logo and text.
5. TH internally illuminated menu boards.
6. Patio seating with TH logo umbrellas.
7. Standard TH buff color thin brick.
MFR: Endicott Thin Brick and Tile LLC
Product: Thin Brick
Color: Light Sandstone Velour
8. Standard TH stone veneer.
MFR: Versetta Stone
Product: Boral Stone
Color: Terra Rosa
9. EIFS final coat to match TH French Roast.
MFR: Sherwin Williams
Number: SW6069
Color: French Roast
10. Bank teller drive-thru.
11. RTU's are screen from primary street views by EIFS sign bands.
12. Trash enclosure; split face concrete block painted; to match TH French Roast with metal frame gates faced with composite decking board.
MFR: ArmorGuard 1x6
Product: Composite Decking Board
Color: Brazilian Walnut
13. New ADA Access Curb Cut.
14. Donut Delivery Parking.



City of O'Fallon P&Z

Building Design

Building design to standard TH store adds stone to building entry equally on the bakery side and bank side. Tim Hortons standards for sign bands and branding elements in the "French Roast" color are expressed in an EIFS finish coat to accommodate the city of O'Fallon's requirements. Stone is added at the base under the EIFS material throughout the exterior envelope of the building. Thin brick "Tera Rosa" is used as the primary exterior building material.



Top view is from southeast street corner at entry



View to right is from southwest site corner at Drive-Thru



City of O'Fallon P&Z

Building Design



Keyed Notes:

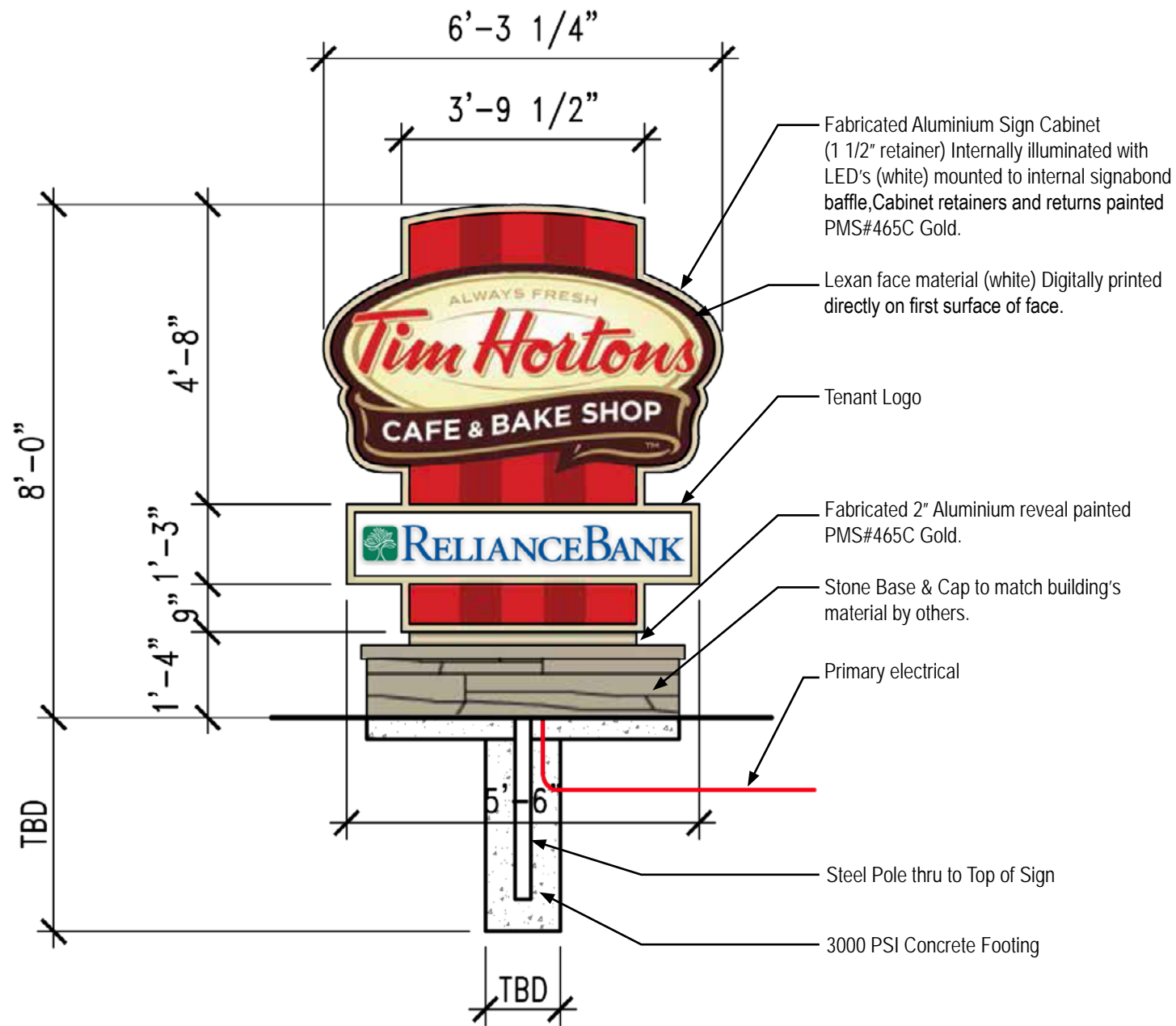
1. Internally illuminated monument sign, see detail.
 2. Internally illuminated building sign, TH logo.
 3. Internally illuminated building sign, TH text.
 4. Internally illuminated building sign, Bank logo and text.
 5. TH internally illuminated menu boards.
 6. Patio seating with TH logo umbrellas.
 7. Standard TH buff color thin brick.
MFR: Endicott Thin Brick and Tile LLC
Product: Thin Brick
Color: Light Sandstone Velour
 8. Standard TH stone veneer.
MFR: Versetta Stone
Product: Boral Stone
Color: Terra Rosa
 9. EIFS final coat to match TH French Roast.
MFR: Sherwin Williams
Number: SW6069
Color: French Roast
- (Refer to previous sheets for keyed notes 10-14)

Top view is from northeast corner of site at Bank Drive-Thru



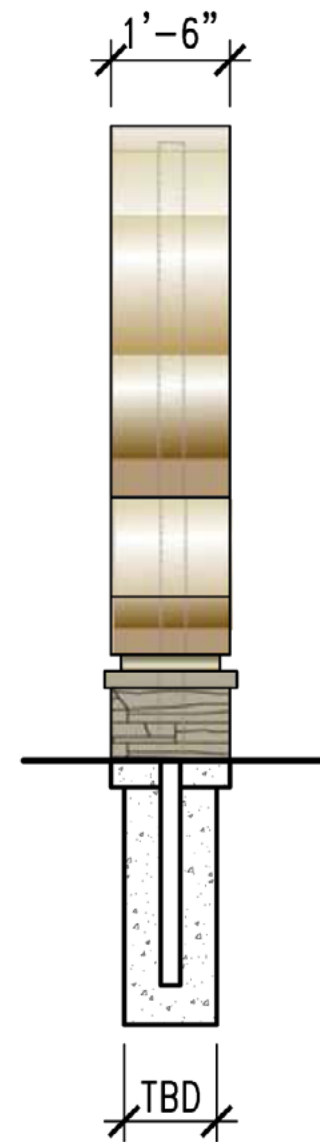
View to right is from northwest corner of site at Bakery Drive-Thru





Monument Sign Elevation

Scale: NTS



Side Elevation

Scale: NTS

Sign Area Calculation:

(Frontage 178') x 0.4= 71.2 SQ FT Sign

Proposed Sign = 39 SQ FT Sign (including base)

Electrical Detail: Logo Cabinet

- (6) White LED Light engines, Permlight Linearray 6500K
- (2) 150w Drivers GLED150-350LC @ 1.40 amps each
Total Amps: 2.80
- (1) 20 amp 120V Circuit Req.

General Electrical Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*
*For multiple signs, a disconnect is permitted but not required for each section
- 5) Electrical feed to be supplied by general contractor

	Tim Horton's
Type:	Monument Sign
Illumination:	Internally Illuminated w/ LEDs
Square Footage:	39

Color Specifications:

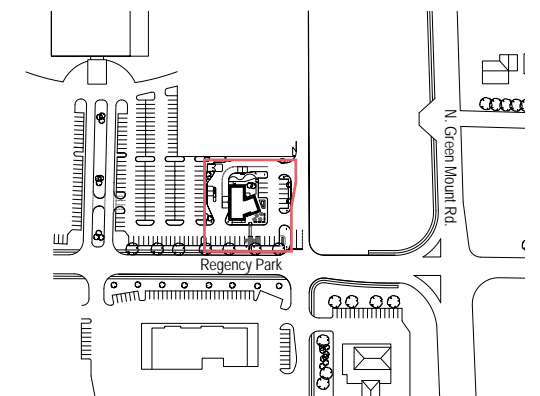
Pantone #465C Gold	Pantone #485C Red
Pantone #9120C Cream (Gradient)	Pantone #7622C Dark Red
Pantone #4975C Dark Brown	White

Specifications

See elevation detail

MODEL#

KEY-MON



A9

FoxArchitects

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City of O'Fallon P&Z Signage Calculations



West Elevation at Drive-Thru

Total West Elevation at Drive-Thru is
1,145.90 sf
Tim Hortons Sign is 27.51 sf



South Elevation facing Regency Park

Total South Elevations facing Regency Park is
1,194.14 sf
Tim Hortons Sign is 32.58 sf
Reliance Bank Sign is 30.30 sf

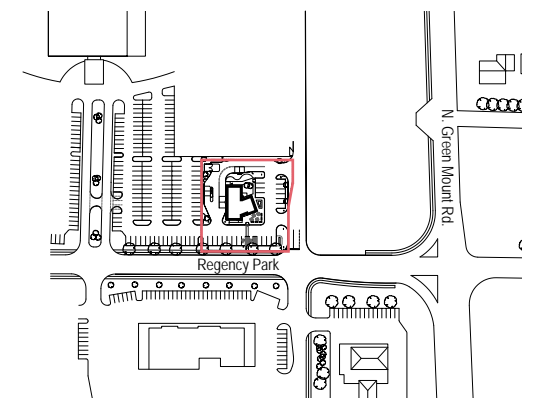


East Elevation facing Outer Road

Total East Elevation facing the Outer Road is
1,225.28 sf
Tim Hortons Sign is 32.58 sf
Reliance Bank Sign is 21.44 sf
Tim Hortons Sign is 32.58 sf

Building

3,370 GFA



A12

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City of O'Fallon P&Z

Tim Hortons Signage Standards

Gotham Book

ABCDEFGHIJKLMNO P Q
 abcdefghijklmnopqrstu v
 1234567890

Gotham Bold

ABCDEFGHIJKLMNO P Q
 abcdefghijklmnopqrstu
 1234567890



Logo Color Breakdown



1:2 Proportions 3 sq.ft.



Note: directional signage is not internally illuminated



Pantone® Matching System (PMS)

Pantone 485C Pantone 7622C Pantone 4975C Pantone 465C Pantone 9120C

CMYK Equivalents

00 Cyan	15 Cyan	36 Cyan	07 Cyan	06 Cyan
93 Magenta	95 Magenta	84 Magenta	27 Magenta	02 Magenta
95 Yellow	96 Yellow	59 Yellow	55 Yellow	28 Yellow
09 Black	39 Black	83 Black	22 Black	00 Black

RGB Equivalents

239 Red	141 Red	52 Red	190 Red	240 Red
56 Green	28 Green	00 Green	153 Green	237 Green
41 Blue	21 Blue	12 Blue	105 Blue	195 Blue

Vinyl- Awning Color

3M™ Tomato Red 180C-13, 7725-13 7125-13	3M™ Deep Red 180C-23, 7725-63 7125-23
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PMS Option



CMYK Overprint Option



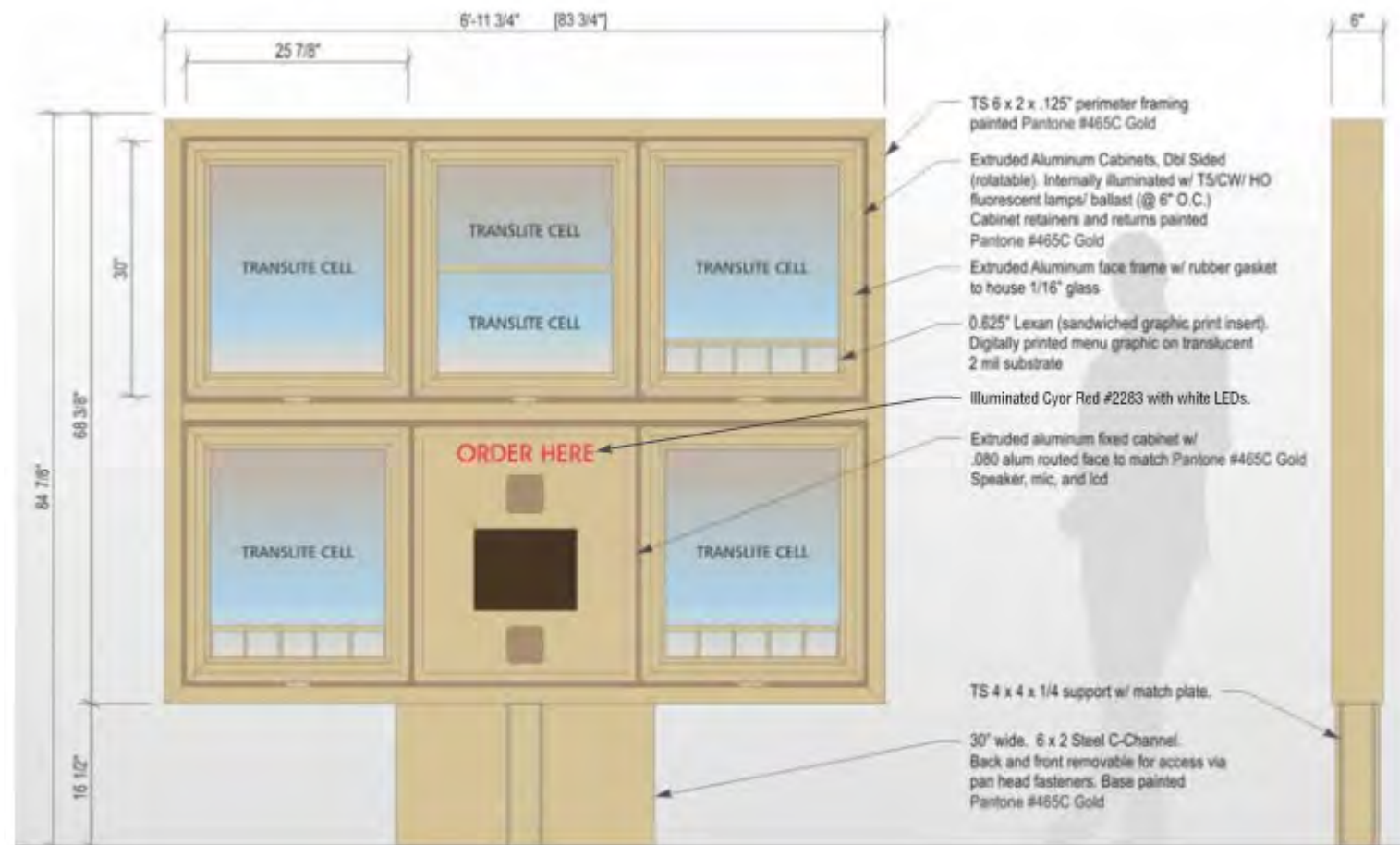
Awning Vinyl



A10

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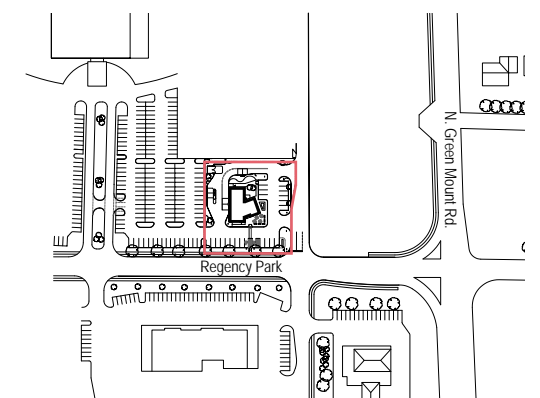


Menu Board Elevation
Scale: NTS

Side Elevation
Scale: NTS

	Drive-Thru Menu Board
Type:	(6) Panel Menu Board w/ Comm System. Extruded aluminum construction
Illumination:	Internal Fluorescent Lamp
Actual Size:	67 5/8" H x 83 3/4" W overall
Square Footage:	39.77

Color Specifications:	
 Pantone #465C Gold	 Cyro Red #2283





CITY COUNCIL AGENDA ITEM

To: Mayor Graham and City Council
From: Ted Shekell, Community Development Director
Walter Denton, City Administrator
Date: December 21, 2015
Subject: P2015-17: Tim Horton's & Reliance Bank, Planned Use – 1st Reading

List of committees that have reviewed: The Planning Commission held a public hearing on the above referenced application at their December 8, 2015 meeting. The Commission voted 6-ayes and 0-nays to approve the requested Planned Use application for Tim Horton's & Reliance Bank, subject to the conditions recommended by staff.

The Community Development Committee reviewed the final plat at its December 14, 2015 meeting and recommended approval, subject to the conditions recommended by staff with a vote of 6-ayes to 0-nays.

Background

The applicant, Eric Sigurdson of Show Me Hospitality, LLC has filed an application requesting a planned use for a parcel of land at 450 Regency Park, zoned B-1(P), Planned Community Business District for the construction of a 3,370 square foot Tim Horton's Café and Bake Shop and Reliance Bank. The majority (2,403 square feet) of the building will be occupied by Tim Hortons and 967 square feet will be utilized by Reliance Bank. There will be a drive-thru for the Tim Hortons and an ATM drive-thru for Reliance Bank.

Since the Plan Commission meeting, a revised elevation has been submitted, achieving the recommended 360 degree architectural detail as recommend by the commercial design handbook and a landscaping plan meeting the standards of Section 158.444 was submitted as well.

Please see the attached Plan Commission Project Report for more detailed information on the proposal.

Legal Considerations, if any: None

Budget Impact: None

Staff Recommendation: Staff recommends approval of the project with the following conditions:

1. A variance to allow 7 of the 30 parking spaces required for the site to be offsite on the Regency Conference Center, subject to the existing cross access and parking easement and Section 158.141.
2. A variance to allow the parking lot perimeter to be constructed per the site plan.
3. A variance to the sign code to allow two wall signs for Tim Horton's on the east elevation.

4. If at any such point in time where the City at its discretion, through an independent consultant, believes the drive-thru traffic is causing a problem to the general public (i.e. queuing onto the access road) Tim Horton's will be required to construct the 2nd drive-thru lane within an agreed upon timeline.
5. A service agreement with the adjoining lot owners on how to manage the necessary improvements, maintenance and repair of the access drive must be in place prior to final occupancy and a signed copy provided to the City.
6. Provide additional cross access easement for the improvements to the access drive.

ORDINANCE NO. _____

AN ORDINANCE PROVIDING FOR THE ANNUAL LEVY FOR THE CITY OF O'FALLON, COUNTY OF ST. CLAIR, ILLINOIS FOR THE FISCAL YEAR COMMENCING ON THE FIRST DAY OF MAY 1, 2015 AND ENDING ON THE THIRTIETH DAY OF APRIL, 2016

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF O'FALLON, ILLINOIS, AS FOLLOWS:

SECTION 1. That there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **TWO HUNDRED FORTY NINE THOUSAND FIVE HUNDRED SIXTY** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

GENERAL FUND REBATES AND MISCELLANEOUS

Department: 01 - Expenses		
4301	SpecBusnDistrict-Rebate	10,000.00
4311	Sales Tax Reb-Newbold	1,500.00
4390	Professional Service	137,200.00
4423	Service Charges	11,000.00
4886	Rotary Van Expense	20,000.00
4304	Cell Tower Refund-Grn Mnt	10,400.00
4809	Miscellaneous Expense	500.00
4790	Transfers	1,893,400.00
Department Total: 01 - Expenses		\$2,084,000.00

ADMINISTRATION

Department: 50 - Administration		
4000	Salaries	872,995.00
4001	Part Time Salaries	34,390.00
4002	Seasonal Wages	4,680.00
4030	Hospitalization Insurance	199,545.00
4031	Dental Insurance	12,730.00

4032	Life Insurance	735.00
4060	Unemployment Compensation	7,700.00
4210	Workmen Comp Insurance	4,090.00
4230	Telephone	6,565.00
4290	Travel Expense	22,000.00
4320	Training	15,000.00
4416	Dues	7,000.00
4670	Maintenance Supplies	700.00
4220	General Insurance	19,700.00
4330	Postage	7,500.00
4340	Computer Services	50,075.00
4345	IT Support/Services	19,455.00
4350	Printing & Publishing	12,000.00
4351	Recording Fees	0.00
4360	Accounting Services	6,000.00
4380	Legal Services	15,000.00
4390	Professional Service	11,500.00
4640	Computer Supplies	200.00
4650	Office Supplies	12,000.00
4680	Operating Supplies	1,000.00
4710	Publications	1,500.00
4801	Recognition Dinner	0.00
4811	Officers Expense	20,000.00
4954	Equipment Lease Payment	6,075.00
4809	Miscellaneous Expense	2,000.00
4840	Equipment	5,000.00
4821	Reserve	0.00
4955	Loan payment-principal	0.00
Department Total: 50 - Administration		\$1,377,135.00

POLICE
DEPARTMENT

Department: 51 - Police Department

4000	Salaries	4,031,270.00
4001	Part Time Salaries	225,000.00
4005	Overtime Wages	170,000.00
4030	Hospitalization Insurance	940,000.00
4031	Dental Insurance	57,300.00
4032	Life Insurance	4,000.00
4060	Unemployment Compensation	15,100.00
4210	Workmen Comp Insurance	100,000.00
4690	Uniforms	70,000.00

4230	Telephone	25,425.00
4240	Teletype	26,700.00
4260	Utilities	65,720.00
4290	Travel Expense	8,000.00
4320	Training	50,000.00
4416	Dues	3,200.00
4100	Maintenance Bldgs	50,000.00
4110	Maintenance Vehicles	78,000.00
4120	Maintenance Equipment	32,000.00
4150	Maintenance Grounds	12,000.00
4655	Equipment- Non-capital	43,000.00
4670	Maintenance Supplies	1,000.00
4220	General Insurance	89,820.00
4330	Postage	2,000.00
4340	Computer Services	174,030.00
4345	IT Support/Services	80,175.00
4350	Printing & Publishing	7,000.00
4360	Accounting Services	5,000.00
4380	Legal Services	30,000.00
4390	Professional Service	20,000.00
4530	DARE-Controlled Substance	1,500.00
4640	Computer Supplies	500.00
4650	Office Supplies	8,000.00
4660	Gasoline & Oil	130,000.00
4680	Operating Supplies	15,000.00
4700	Food	1,500.00
4710	Publications	800.00
4783	Insurance Deductible	4,000.00
4852	Firing Range	5,000.00
4954	Equipment Lease Payment	45,640.00
4050	Rewards	1,000.00
4853	PD Seized Fund Expense	80,000.00
4833	Vehicles	65,000.00
4840	Equipment	122,100.00
4955	Loan payment-principal	65,735.00
5000	Interest - Loans	4,225.00
Department Total: 51 - Police Department		\$6,965,740.00

STREET
DEPARTMENT

Department: 52 - Street Department

4000	Salaries	767,900.00
4001	Part Time Salaries	1,720.00
4002	Seasonal Wages	18,800.00
4005	Overtime Wages	74,580.00
4036	Temporary Help	59,095.00
4006	Contracted Services	0.00
4030	Hospitalization Insurance	215,000.00
4031	Dental Insurance	13,400.00
4032	Life Insurance	1,000.00
4060	Unemployment Compensation	4,635.00
4210	Workmen Comp Insurance	75,000.00
4690	Uniforms	8,000.00
4230	Telephone	6,925.00
4260	Utilities	20,000.00
4270	Street Lighting	300,000.00
4310	Garbage Disposal	1,000.00
4290	Travel Expense	4,200.00
4320	Training	4,000.00
4416	Dues	2,400.00
4100	Maintenance Bldgs	20,000.00
4101	Maintenance Bldgs Excess	0.00
4110	Maintenance Vehicles	50,000.00
4115	In House Service for Vehicle Maintenance	(10,000.00)
4120	Maintenance Equipment	30,000.00
4130	Maintenance Streets	515,000.00
4131	Street Capital Improvement	0.00
4140	Maintenance Sidewalks	12,000.00
4141	Maintenance Storm Water	200,000.00
4142	Stormwater Asst Program	2,500.00
4150	Maintenance Grounds	70,000.00
4160	Maintenance Utility System	0.00
4170	Maintenance Stop Lights	6,000.00
4200	Tree Removal	12,000.00
4655	Equipment- Non-capital	10,000.00
4670	Maintenance Supplies	90,000.00
4190	Snow Removal	150,000.00
4220	General Insurance	74,850.00

4280	Rental	3,000.00
4330	Postage	2,000.00
4340	Computer Services	53,275.00
4345	IT Support/Services	17,700.00
4350	Printing & Publishing	3,000.00
4360	Accounting Services	6,500.00
4365	General Services	40,000.00
4370	Engineering Services	100,000.00
4380	Legal Services	25,000.00
4390	Professional Service	5,000.00
4414	Signage	40,000.00
4630	Right of Way	5,000.00
4640	Computer Supplies	1,000.00
4650	Office Supplies	4,000.00
4660	Gasoline & Oil	55,000.00
4680	Operating Supplies	40,000.00
4685	Landscaping Supplies	4,000.00
4710	Publications	200.00
4783	Insurance Deductible	5,000.00
4954	Equipment Lease Payment	10,910.00
4809	Miscellaneous Expense	2,000.00
4807	Easements	5,000.00
4810	Buildings	50,000.00
4833	Vehicles	55,000.00
4840	Equipment	41,500.00
4884	Improvements Other Than Bldg	112,000.00
4191	Labor Reimb.to Water	6,000.00
4192	Labor Reimb.to Wastewater	2,000.00
4193	Equip-Reimb.to Wastewater	1,000.00
4194	Equip-Reimb.to Water	3,000.00
4821	Reserve	0.00
4955	Loan payment-principal	0.00
	Department Total: 52 - Street Department	\$3,508,090.00

FACILITIES

Department: 53 - Facilities

4000	Salaries	68,015.00
4005	Overtime Wages	1,530.00
4030	Hospitalization Insurance	21,970.00
4031	Dental Insurance	1,440.00
4032	Life Insurance	60.00

4060	Unemployment Compensation	500.00
4210	Workmen Comp Insurance	2,525.00
4690	Uniforms	600.00
4230	Telephone	500.00
4260	Utilities	50,000.00
4310	Garbage Disposal	1,000.00
4290	Travel Expense	400.00
4320	Training	500.00
4100	Maintenance Bldgs	25,000.00
4110	Maintenance Vehicles	2,000.00
4120	Maintenance Equipment	500.00
4140	Maintenance Sidewalks	0.00
4150	Maintenance Grounds	10,000.00
4200	Tree Removal	500.00
4655	Equipment- Non-capital	12,000.00
4670	Maintenance Supplies	15,000.00
4190	Snow Removal	1,000.00
4360	Accounting Service	200.00
4370	Engineering Services	10,000.00
4380	Legal Services	0.00
4390	Professional Service	2,400.00
4660	Gasoline & Oil	1,000.00
4680	Operating Supplies	4,000.00
4685	Landscaping Supplies	1,000.00
4809	Miscellaneous Expense	200.00
4810	Buildings	66,000.00
4840	Equipment	5,000.00
4884	Improvements Other than Bldg	35,200.00
Department Total: 53 - Facilities		\$340,040.00

COMMUNITY DEVELOPMENT

Department: 56 - Planning & Zoning

4000	Salaries	580,025.00
4001	Part Time Salaries	51,560.00
4005	Overtime Wages	1,000.00
4006	Contracted Service	12,000.00
4030	Hospitalization Insurance	111,205.00
4031	Dental Insurance	6,575.00
4032	Life Insurance	600.00
4060	Unemployment Compensation	1,945.00
4210	Workmen Comp Insurance	2,040.00

4690	Uniforms	2,200.00
4230	Telephone	7,060.00
4290	Travel Expense	7,000.00
4300	Automobile Allowance	1,500.00
4320	Training	7,000.00
4416	Dues	3,500.00
4110	Maintenance Vehicles	3,700.00
4120	Maintenance Equipment	300.00
4655	Equipment- Non-capital	2,200.00
4670	Maintenance Supplies	400.00
4220	General Insurance	23,135.00
4280	Rental	0.00
4330	Postage	7,000.00
4340	Computer Services	50,865.00
4345	IT Support/Services	10,200.00
4350	Printing & Publishing	3,000.00
4351	Recording Fees	1,500.00
4360	Accounting Services	4,500.00
4380	Legal Services	25,000.00
4390	Professional Service	18,000.00
4395	Nuisance Abatements	18,000.00
4640	Computer Supplies	1,000.00
4650	Office Supplies	2,500.00
4660	Gasoline & Oil	8,500.00
4680	Operating Supplies	700.00
4710	Publications	5,500.00
4783	Insurance Deductible	0.00
4954	Equipment Lease Payment	4,975.00
4809	Miscellaneous Expense	500.00
4833	Vehicles	19,000.00
4821	Reserve	0.00
4955	Loan payment-principal	11,240.00
5000	Interest - Loans	700.00
Department Total: 56 - Planning & Zoning		\$1,017,625.00

FIRE & POLICE COMMISSION

Department: 57 - Fire & Police Commission

4290	Travel Expense	250.00
4416	Dues	400.00
4330	Postage	300.00
4390	Professional Service	22,000.00

Department Total: 57 - Fire & Police Commission \$22,950.00

ECONOMIC DEVELOPMENT

Department: 58 - Economic Development

4000	Salaries	51,000.00
4006	Contracted Services	12,000.00
4030	Hospitalization Insurance	4,740.00
4031	Dental Insurance	340.00
4032	Life Insurance	40.00
4060	Unemployment Compensation	300.00
4210	Workmen Comp Insurance	150.00
4230	Telephone	1,875.00
4290	Travel Expense	8,000.00
4320	Training	25,000.00
4416	Dues	8,000.00
4330	Postage	12,000.00
4345	IT Support/Services	16,750.00
4350	Printing & Publishing	16,000.00
4380	Legal Services	5,000.00
4390	Professional Service	85,000.00
4650	Office Supplies	1,000.00
4710	Publications	1,000.00
4854	Special Awards	0.00
4882	Development Projects	65,000.00
4809	Miscellaneous Expense	500.00
4821	Reserve	0.00
4955	Loan payment-principal	0.00
	Department Total: 58 - Economic Development	\$313,695.00

CEMETERY

Department: 59 - Cemetery

4000	Salaries	46,500.00
4001	Part Time Salaries	0.00
4002	Seasonal Wages	15,000.00
4005	Overtime Wages	1,850.00
4030	Hospitalization Insurance	9,135.00
4031	Dental Insurance	615.00
4032	Life Insurance	65.00
4060	Unemployment Compensation	325.00
4210	Workmen Comp Insurance	2,200.00
4690	Uniforms	500.00

ending on the 30th day of April, 2016 and the said levy shall be as follows:

I.M.R.F.

	Department: 01 - Expenses	
4080	IMRF Payments	580,000.00
4790	Transfers	0.00
	Department Total: 01 - Expenses	\$580,000.00

Income from Other Source **\$481**
Total Amount of Section 2 to be raised by Levy: **\$579,519**

SECTION 3: That in addition to the foregoing items in Section 1 and 2 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **FIVE HUNDRED EIGHTY FOUR THOUSAND AND TWENTY ONE** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

PARK FUND

	Department: 01 - Expenses	
4023	O & S Baseball Umpires	16,100.00
4000	Salaries	436,000.00
4001	Part Time Salaries	14,750.00
4002	Seasonal Wages	5,000.00
4003	Camp ChooChoo Seasonal	33,000.00
4004	Camp Cavins Seasonal	100,000.00
4005	Overtime Wages	10,000.00
4007	Let's Play Sports Seasonl	25,000.00
4008	Concessions Seasonal	0.00
4009	Seasonal Park Maintenance	120,000.00
4014	Jr.Panther Basketball	1,600.00
4015	KIXX Soccer Seasonal	11,000.00
4016	O & S Soccer Wages	10,000.00
4017	O & S Basketball Wages	10,000.00
4018	Mighty Ball Wages	1,000.00
4019	Park Security Wages	1,000.00
4025	Music 90 Expense	0.00
4030	Hospitalization Insurance	160,000.00
4031	Dental Insurance	6,985.00
4032	Life Insurance	500.00
4060	Unemployment Compensation	1,940.00
4210	Workmen Comp Insurance	8,000.00

4690	Uniforms	5,000.00
4230	Telephone	7,580.00
4260	Utilities	29,000.00
4310	Garbage Disposal	500.00
4290	Travel Expense	9,750.00
4320	Training	10,800.00
4416	Dues	2,600.00
4100	Maintenance Bldgs	9,500.00
4101	Maintenance Bldgs Excess	0.00
4110	Maintenance Vehicles	10,000.00
4120	Maintenance Equipment	13,500.00
4130	Maintenance Streets	2,500.00
4150	Maintenance Grounds	20,000.00
4152	Maintenance I-64 ROW	5,000.00
4200	Tree Removal	5,000.00
4655	Equipment- Non-capital	12,750.00
4670	Maintenance Supplies	8,000.00
4190	Snow Removal	4,500.00
4220	General Insurance	19,200.00
4280	Rental	2,000.00
4330	Postage	200.00
4340	Computer Services	50,075.00
4345	IT Support/Services	34,945.00
4350	Printing & Publishing	10,000.00
4360	Accounting Services	5,000.00
4380	Legal Services	3,000.00
4390	Professional Service	30,000.00
4414	Signage	2,000.00
4423	Service Charges	6,000.00
4430	Baseball/Softball Program	27,500.00
4432	Tennis Program	2,000.00
4434	Diamond Care	7,500.00
4435	Donations	2,000.00
4451	Recreation Programs	7,000.00
4452	Adult Prog Rec Supp/Serv	15,000.00
4453	Preschool Prog/Supp/servi	12,000.00
4454	Youth Prog.-shiloh coop	20,500.00
4455	Teen Programs/Supp/Servic	1,000.00
4456	Youth Sport Programs	215,000.00
4457	Adult Sport Programs	5,000.00
4460	Special Event Program/sup	6,000.00

4461	Let's Play Camp Program	28,000.00
4602	Arts Program	19,000.00
4603	Garden Club Program	8,000.00
4604	KIXX Program/Fundraising	40,000.00
4640	Computer Supplies	4,000.00
4650	Office Supplies	4,800.00
4660	Gasoline & Oil	22,500.00
4675	Chemicals	4,500.00
4680	Operating Supplies	9,000.00
4685	Landscaping Supplies	10,500.00
4700	Food	1,800.00
4710	Publications	0.00
4720	Playground Equipment	2,500.00
4721	Hesse Park Improvements	272,000.00
4722	Community Park Improvements	87,400.00
4723	St.Ellen Park Prof Serv	0.00
4724	Rock Springs Park	8,500.00
4725	Thoman Park	500.00
4726	Ogles Creek Park	1,000.00
4727	Savanah Hills Park	2,000.00
4729	Summer Camp	17,500.00
4783	Insurance Deductible	500.00
4861	Community Center	30,000.00
4954	Equipment Lease Payment	11,710.00
4605	Styx Programming/Fundraising	5,000.00
4809	Miscellaneous Expense	2,000.00
4833	Vehicles	65,000.00
4840	Equipment	18,000.00
4884	Improvements Other Than Bldg	0.00
4821	Reserve	0.00
4955	Loan payment-principal	5,740.00
5000	Interest - Loans	50.00

Department Total: 01 - Expenses \$2,292,275.00

SWIMMING

Department: 03 - Swimming Pool

4000	Salaries	10,100.00
4001	Part Time Salaries	55,000.00
4002	Seasonal Wages	3,200.00
4005	Overtime Wages	200.00
4007	Let's Play Sports Seasonl	0.00

4008	Concessions Seasonal	7,000.00
4030	Hospitalization Insurance	3,200.00
4031	Dental Insurance	300.00
4032	Life Insurance	30.00
4060	Unemployment Compensation	300.00
4210	Workmen Comp Insurnace	300.00
4690	Uniforms	1,000.00
4230	Telephone	200.00
4260	Utilities	6,000.00
4320	Training	1,200.00
4100	Maintenance Bldgs	2,000.00
4101	Maintenance Bldgs Excess	1,000.00
4120	Maintenance Equipment	2,500.00
4150	Maintenance Grounds	200.00
4175	Maintenance Pool	4,000.00
4655	Equipment- Non-capital	5,000.00
4670	Maintenance Supplies	1,500.00
4220	General Insurance	3,250.00
4345	IT Support/Services	3,000.00
4350	Printing & Publishing	200.00
4390	Professional Service	5,000.00
4650	Office Supplies	350.00
4675	Chemicals	10,000.00
4680	Operating Supplies	1,000.00
4681	Swimming Lesson Supplies	100.00
4700	Food	8,800.00
4705	Beverages	3,200.00
4809	Miscellaneous Expense	350.00
4840	Equipment	5,000.00
4821	Reserve	0.00

Department Total: 03 - Swimming Pool \$144,480.00

SPORTS
COMPLEX

Department: 07 - Sports Complex

4000	Salaries	145,000.00
4001	Part Time Salaries	14,000.00
4002	Seasonal Wages	3,500.00
4005	Overtime Wages	3,500.00
4007	Let's Play Sports Seasonal	0.00
4008	Concessions Seasonal	52,000.00
4009	Seasonal Park Maintenance	140,000.00

4030	Hospitalization Insurance	65,000.00
4031	Dental Insurance	4,500.00
4032	Life Insurance	200.00
4060	Unemployment Compensation	325.00
4210	Workmen Comp Insurance	1,230.00
4690	Uniforms	3,000.00
4230	Telephone	720.00
4260	Utilities	80,000.00
4290	Travel Expense	500.00
4320	Training	1,200.00
4416	Dues	200.00
4100	Maintenance Bldgs	6,000.00
4110	Maintenance Vehicles	2,000.00
4120	Maintenance Equipment	8,000.00
4130	Maintenance Streets	5,000.00
4150	Maintenance Grounds	35,000.00
4200	Tree Removal	250.00
4655	Equipment- Non-capital	38,000.00
4670	Maintenance Supplies	5,000.00
4190	Snow Removal	500.00
4220	General Insurance	700.00
4280	Rental	1,000.00
4330	Postage	100.00
4350	Printing & Publishing	250.00
4390	Professional Service	4,500.00
4414	Signage	3,000.00
4434	Diamond Care	20,000.00
4457	Adult Sport Programs	25,000.00
4640	Computer Supplies	1,500.00
4641	Computer Hardware - AS400	0.00
4650	Office Supplies	750.00
4660	Gasoline & Oil	11,000.00
4675	Chemicals	8,000.00
4680	Operating Supplies	8,000.00
4681	Swimming Lesson Supplies	0.00
4685	Landscaping Supplies	10,000.00
4700	Food	60,000.00
4705	Beverages	60,000.00
4710	Publications	0.00
4720	Playground Equipment	1,750.00
4809	Miscellaneous Expense	500.00

4833	Vehicles	0.00
4840	Equipment	33,500.00
4884	Improvements Other Than Bldg	180,000.00
4989	Transfers	340,000.00
4821	Reserve	0.00
4955	Loan payment-principal	2,590.00
5000	Interest - Loans	25.00

Department Total: 07 - Sports Complex \$1,386,790.00

Total:	\$3,823,545
Income from other sources:	\$3,239,524

Total Amount of Section 3 to be raised by Levy: \$584,021

SECTION 4: That in addition to the foregoing items in Section 1 -3 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **ONE MILLION ONE HUNDRED SEVENTY EIGHT THOUSAND NINE HUNDRED SEVENTY SEVEN** dollars said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

FIRE DEPARTMENT FUND

Department: 01 - Expenses		
4000	Salaries	253,000.00
4001	Part Time Salaries	50,300.00
4005	Overtime Wages	655.00
4030	Hospitalization Insurance	64,795.00
4031	Dental Insurance	4,200.00
4032	Life Insurance	240.00
4060	Unemployment Compensation	325.00
4210	Workmen Comp Insurance	4,040.00
4020	Pension	94,000.00
4690	Uniforms	36,000.00
4230	Telephone	21,645.00
4260	Utilities	36,800.00
4290	Travel Expense	9,800.00
4320	Training	22,000.00
4416	Dues	1,600.00
4100	Maintenance Bldgs	60,000.00
4110	Maintenance Vehicles	51,000.00
4120	Maintenance Equipment	32,000.00

4150	Maintenance Grounds	7,500.00
4170	Maintenance Stop Lights	0.00
4655	Equipment- Non-capital	57,000.00
4670	Maintenance Supplies	10,500.00
4054	Fire Runs & Fees	201,000.00
4220	General Insurance	50,000.00
4330	Postage	1,750.00
4340	Computer Services	97,360.00
4345	IT Support/Services	60,000.00
4350	Printing & Publishing	500.00
4360	Accounting Services	2,000.00
4372	Physicals	8,500.00
4380	Legal Services	6,000.00
4390	Professional Service	10,000.00
4640	Computer Supplies	500.00
4650	Office Supplies	4,500.00
4660	Gasoline & Oil	29,500.00
4680	Operating Supplies	14,600.00
4710	Publications	1,310.00
4783	Insurance Deductible	0.00
4954	Equipment Lease Payment	29,395.00
4833	Vehicles	0.00
4840	Equipment	122,100.00
4841	Equipment Reserve	50,000.00
4884	Improvements Other Than Bldg	0.00
4821	Reserve	75,000.00
4955	Loan payment-principal	263,170.00
5000	Interest - Loans	76,175.00

Department Total: 01 - Expenses \$1,920,760.00

Total: \$1,920,760

Income from other sources: \$741,783

Total Amount of Section 4 to be raised by Levy: \$1,178,977

SECTION 5: That in addition to the foregoing items in Section 1-4 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **ONE MILLION ONE HUNDRED ONE THOUSAND SEVENTY HUNDRED NINETY FOUR** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

POLICE PENSION FUND

Department: 01 - Expenses		
4020	Pension	648,160.00
4320	Training	5,000.00
4416	Dues	1,500.00
4360	Accounting Services	2,500.00
4372	Physicals	3,000.00
4380	Legal Services	7,000.00
4423	Service Charges	0.00
4750	Investment Manager fee	26,000.00
4800	Filing Fees-Annual Report	3,000.00
4022	Refund Contributions	10,000.00
4809	Miscellaneous Expense	5,000.00
4751	Investments	1,206,000.00
Department Total: 01 - Expenses		\$1,917,160.00

Total: **\$1,917,160**
Income from other sources: **\$815,366**

Total Amount of Section 5 to be raised by Levy: **\$1,101,794**

SECTION 6: That in addition to the foregoing items in Section 1-5 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **EIGHT HUNDRED FORTY THOUSAND AND THIRTEEN** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SOCIAL SECURITY FUND

Department: 01 - Expenses		
4012	Social Security	840,100.00
4790	Transfers	0.00
Department Total: 01 - Expenses		\$840,100.00

Income from other sources: **\$87**
Total Amount of Section 6 to be raised by Levy: **\$840,013**

SECTION 7: That in addition to the foregoing items in Section 1-6 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **ONE MILLION THIRTY FIVE THOUSAND FIVE HUNDRED FORTY FIVE** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and

ending on the 30th day of April, 2016 and the said levy shall be as follows:

AMBULANCE SERVICE (E.M.S)

Department: 01 - Expenses

4000	Salaries	863,120.00
4001	Part Time Salaries	135,000.00
4005	Overtime Wages	292,000.00
4030	Hospitalization Insurance	320,955.00
4031	Dental Insurance	18,095.00
4032	Life Insurance	1,125.00
4060	Unemployment Compensation	4,510.00
4210	Workmen Comp Insurance	30,000.00
4690	Uniforms	15,000.00
4230	Telephone	12,560.00
4260	Utilities	64,000.00
4290	Travel Expense	12,000.00
4320	Training	16,000.00
4100	Maintenance Bldgs	50,000.00
4110	Maintenance Vehicles	35,000.00
4120	Maintenance Equipment	23,000.00
4150	Maintenance Grounds	2,500.00
4655	Equipment- Non-capital	15,000.00
4670	Maintenance Supplies	2,000.00
4220	General Insurance	30,000.00
4330	Postage	2,000.00
4340	Computer Services	107,940.00
4345	IT Support/Services	39,360.00
4350	Printing & Publishing	1,250.00
4360	Accounting Services	5,000.00
4380	Legal Services	18,000.00
4390	Professional Service	82,000.00
4640	Computer Supplies	500.00
4650	Office Supplies	3,500.00
4660	Gasoline & Oil	40,000.00
4680	Operating Supplies	38,000.00
4710	Publications	1,000.00
4954	Equipment Lease Payment	15,730.00
4550	Overpayment Refunds	12,000.00
4840	Equipment	155,800.00
4790	Transfers	0.00
4981	Transfer to Capital Improvements	0.00
4821	Reserve	0.00

4955	Loan payment-principal	30,050.00
5000	Interest – Loans	3,360.00
Department Total: 01 - Expenses		\$2,497,355.00

Total: **\$2,497,355**
Income from other sources: **\$1,461,810**

Total Amount of Section 7 to be raised by Levy: **\$1,035,545**

SECTION 8: That in addition to the foregoing items in Section 1-7 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **TWO THOUSAND** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #1 FUND (GEORGETOWN)

4150	Maintenance Grounds	\$1,700
4360	Accounting Services	\$100
4370	Engineering Services	\$100
4390	Other Professional Service	\$100
TOTAL		\$2,000
Income from other sources:		\$0

Total Amount of Section 8 to be raised by Levy: **\$2,000**

SECTION 9: That in addition to the foregoing items in Section 1-8 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **THREE THOUSAND** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #2 FUND (COUNTRYSIDE GLEN)

4150	Maintenance Grounds	\$1,500
4360	Accounting Services	\$250
4370	Engineering Services	\$250
4390	Other Professional Service	\$1,000
TOTAL		\$3,000

Income from other sources: **\$0**

Total Amount of Section 9 to be raised by Levy: **\$3,000**

SECTION 10: That in addition to the foregoing items in Section 1-9 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **TWO THOUSAND** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #3 FUND (LINCOLNSHIRE)

4150	Maintenance Grounds	\$1,500
4360	Accounting Services	\$100
4370	Engineering Services	\$200
4390	Other Professional Service	\$200
		<hr/>
	TOTAL	\$2,000
	Income from other sources:	\$0

Total Amount of Section 10 to be raised by Levy: **\$2,000**

SECTION 11: That in addition to the foregoing items in Section 1-10 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **ONE THOUSAND TWO HUNDRED** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #4 FUND (O'FALLON MEADOWS)

4150	Maintenance Grounds	\$900
4360	Accounting Services	\$100
4370	Engineering Services	\$100
4390	Other Professional Service	\$100
		<hr/>
	TOTAL	\$1,200
	Income from other sources:	\$0

Total Amount of Section 11 to be raised by Levy:: **\$1,200**

SECTION 12: That in addition to the foregoing items in Section 1-11 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **THREE THOUSAND**

dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #5 FUND (EAGLE RIDGE)

4150	Maintenance Grounds	\$1,700
4360	Accounting Services	\$500
4370	Engineering Services	\$300
4390	Other Professional Service	\$500
		<hr/>
TOTAL		\$3,000
Income from other sources:		\$0

Total Amount of Section 12 to be raised by Levy: \$3,000

SECTION 13: That in addition to the foregoing items in Section 1-12 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **TWO THOUSAND** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #6 FUND (CAMBRIDGE COMMON)

4150	Maintenance Grounds	\$1,000
4360	Accounting Services	\$200
4370	Engineering Services	\$500
4390	Other Professional Service	\$300
		<hr/>
TOTAL		\$2,000
Income from other sources:		\$0

Total Amount of Section 13 to be raised by Levy: \$2,000

SECTION 14: That in addition to the foregoing items in Section 1-13 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **TWO THOUSAND** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

SPECIAL SERVICE AREA #7 FUND (GREENMOUNT)

4150	Maintenance Grounds	\$1,500
4360	Accounting Services	\$100
4370	Engineering Services	\$200
4390	Other Professional Service	\$200
		<hr/>
TOTAL		\$2,000
Income from other sources:		\$0

Total Amount of Section 14 to be raised by Levy: \$2,000

SECTION 15: That in addition to the foregoing items in Section 1-14 hereof, that there is hereby levied a tax upon all taxable property in the City of O'Fallon, County of St. Clair, Illinois, the sum of **ONE MILLION SIX THOUSAND SIX HUNDRED ONE** dollars, said amount shall be raised by taxation upon said property according to its valuation as the same is assessed for State and County purposes for the current year, which said amount is levied to defray the necessary expenses and liabilities of said City as provided by the Annual Appropriation Ordinance for the fiscal year of said City, beginning on the 1st day of May, 2015 and ending on the 30th day of April, 2016 and the said levy shall be as follows:

LIBRARY FUND 04

Department: 01 - Expenses

4000	Salaries	275,210.00
4001	Part Time Salaries	252,880.00
4012	Social Security	40,400.00
4030	Hospitalization Insurance	51,000.00
4031	Dental Insurance	3,120.00
4032	Life Insurance	310.00
4060	Unemployment Compensation	1,295.00
4210	Workmen Comp Insurance	4,090.00
4020	Pension	45,000.00
4230	Telephone	6,080.00
4260	Utilities	30,000.00
4290	Travel Expense	3,000.00
4320	Training	5,000.00
4416	Dues	1,000.00
4100	Maintenance Bldgs	54,610.00
4120	Maintenance Equipment	12,000.00
4150	Maintenance Grounds	7,000.00
4160	Maintenance Utility Syste	0.00
4655	Equipment- Non-capital	2,000.00
4670	Maintenance Supplies	3,000.00

4220	General Insurance	22,000.00
4330	Postage	4,000.00
4340	Computer Services	37,895.00
4345	IT Support/Services	6,600.00
4350	Printing & Publishing	3,000.00
4360	Accounting Services	5,000.00
4380	Legal Services	2,585.00
4390	Professional Service	8,000.00
4412	Furnishings	0.00
4460	Special Event Program/sup	20,000.00
4640	Computer Supplies	2,000.00
4650	Office Supplies	15,000.00
4680	Operating Supplies	4,000.00
4710	Publications	170,000.00
4954	Equipment Lease Payment	7,440.00
4580	Contingencies	2,165.00
4810	Buildings	1,286,390.00
4821	Reserve	0.00
4955	Loan payment-principal	0.00
Department Total: 01 - Expenses		\$2,393,070.00

Total:	\$2,393,070
Income from other sources:	\$1,386,469
Total Amount of Section15 to be raised by Levy::	\$ 1,006,601

SECTION 16: That the City Clerk of the City of O'Fallon, St. Clair County, Illinois is hereby directed to file with the County Clerk of the County of St. Clair and State of Illinois, a certified copy of this ordinance as approved by law.

SECTION 17: That this Ordinance shall be in full force and effect from and after its passage and approval.

APPROVED:

GARY L. GRAHAM, MAYOR

ATTEST:

PHILIP GOODWIN, CITY CLERK

PASSED: _____

APPROVED: _____

ROLL CALL:	Albrecht	Bennett	Cozad	Drolet	Holden	Kueker	McCoskey	SUB TOTALS
Aye								
Nay								
Absent								

ROLL CALL:	Mouser	Marsh	Hagarty	Gerrish	Meile	Roach	Smallheer	SUB TOTALS	SUM OF TOTALS
Aye									
Nay									
Absent									

CITY OF O'FALLON

CERTIFICATION OF TAX LEVY ORDINANCE

The undersigned, duly elected, qualified and acting City Clerk of the City of O'Fallon, St. Clair County, Illinois does hereby certify that the attached hereto is a true and correct copy of the Tax Levy Ordinance of said City for the fiscal year beginning May 1, 2015 and ending April 30, 2016 as adopted this _____ day of _____, 2015.

This certification is made and filed pursuant to the requirements of IRS Ch. 24, par 8-3-1 and on behalf of the City of O'Fallon, St. Clair County, Illinois. This certification must be filed by the last Tuesday of December. The attached Tax Levy Ordinance was adopted pursuant to and in compliance with the provisions of Section 4 through 7 of the "Truth in Taxation Act", P.A. 82-102 of the IRS Ch. 120, par. 861-869.1)

Dated this _____ day of _____, 2015.

ATTEST:

Philip Goodwin, City Clerk

Filed this _____ day of _____, 2015.

ATTEST:

Tom Holbrook, County Clerk

CITY OF O'FALLON, ILLINOIS

CERTIFICATION OF THE TRUTH IN TAXATION REQUIREMENTS

The undersigned presiding officer of the City of O'Fallon, does hereby certify that the levy ordinance, a copy of which is attached hereto, was adopted pursuant to, and in compliance with or inapplicability of the provisions of Sections 4 through 7 of the "Truth in Taxation Act". P.A. 82-102 (IRS Chap. 120, pp. 861 - 869.1)

Dated this _____ day of _____, 2015.

Gary L. Graham, Mayor

ATTEST:

Philip Goodwin, City Clerk

Filed this _____ day of _____ 2015.

Tom Holbrook, County Clerk



CITY COUNCIL AGENDA ITEMS

To: Mayor and City Council
From: Sandy Evans, Director of Finance
Walter Denton, City Administrator
Date: December 21, 2015
Subject: Ordinances Establishing 2015 Annual Tax Levy

List of committees that have reviewed: Finance and Administration

Background: As approved by the City Council at the December 7 City Council meeting, attached is the property tax levy ordinance that was recommended by the Finance and Administration Committee at its November 23 meeting. Please note this is not what was presented to the City Council for first reading, but was amended at the December 7 meeting to reflect the Finance and Administration Committee's recommendation. The annual Tax Levy must be filed with the county by the last Tuesday in December. The rate setting EAV is the base for the next years estimate as provided by the county which they project to be \$657,023,224, a 2.5% increase in EAV over last year. However, with the passage of the new legislation providing 100% exemption for 70% disabled veterans, this will reduce our EAV by \$18,673,000. This amount is based on those veterans currently receiving the \$5000 exemption and may increase next year. The county is also expecting to apply a 1.0082% multiplier for O'Fallon Township and a .9985% multiplier for Caseyville Township, thereby creating a 1% average multiplier increasing the EAV by approximately \$6,500,000. Due to the large number of petitions filed with the Board of Review to review property assessments resulting in possible loss of assessed values, the projected EAV was reduced by \$1,725,000,000. Therefore, our estimated rate setting EAV for 2015 is \$643,195,456, which is approximately a .3% increase from last year.

At the Finance Committee meeting, a proposed tax levy was presented, which showed the levy request amount to be close to the same amount requested as the previous year for all funds except for IMRF, Social Security and the library. IMRF was increased by approximately \$73, 000, Social Security by approximately \$58,000 and the library by \$43,500. The committee approved the total tax levy request of \$6,576,030 for both the City and Library. (Attachment A)

Legal Considerations, if any: None when filed on time.

Budget Impact: The tax levy is the revenue source for the Fire Department, EMS, Parks & Library and provides additional funds to the general fund and pension related accounts.

Staff recommendation: Recommend approval

2014 Final Rate Setting	641,199,042	
2015 Rate Setting EAV	657,023,224	Per County Estimate 11/17/14
	6,570,232	Per County-Avg. multiplier- 1.00 O'Fallon Twnship Multiplier of 1.0082 Caseyville Twnship .9985 Multiplier
	(18,673,000)	EAV deduction for VA exemptions
	(1,725,000)	Board of Review Petitions(Possible reductions in EAV)
2015 Est. EAV	643,195,456	(23 business appealing \$100K or more- based on 75%)

FUND	Requested 14Rate	Requested 14Levy	Certified 14 Rate	Total extension After TIF & EZ	Requested 2015 Rate	Requested Levy 2015	Not to exceed 2016 Budget	14/15 Rate Difference	14/15 Dollar Difference
General	0.0390	248,333	0.0388	248,785	0.0388	249,560	15,763,665	0.0000	775
IMRF	0.0795	506,217	0.0790	506,547	0.0901	579,519	580,000	0.0111	72,972
Fire Protection	0.1833	1,167,165	0.1821	1,167,623	0.1833	1,178,977	1,920,760	0.0012	11,354
Police Pension	0.1724	1,097,759	0.1713	1,098,374	0.1713	1,101,794	1,917,160	0.0000	3,420
Park	0.0908	578,170	0.0902	578,362	0.0908	584,021	3,823,545	0.0006	5,660
Social Security	0.1227	781,294	0.1219	781,622	0.1306	840,013	840,100	0.0087	58,392
Ambulance	0.1621	1,032,174	0.1610	1,032,330	0.1610	1,035,545	2,497,355	0.0000	3,214
	0.8498	5,411,112	0.8443	5,413,644	0.8659	5,569,429	27,342,585	0.0216	155,786
LIBRARY									
Corporate	0.1512	962,768	0.1502	963,081	0.1565	1,006,601	2,393,070	0.0063	43,520
Totals	1.0010	6,373,880	0.9945	6,376,725	1.0224	6,576,030	29,735,655	0.0279	199,306

increase 4.5%

As of 11-17-15
 County provided estimated EAV
 Estimate 1.0082% multiplier for O'Fallon Township
 Estimate .9985 multiplier for Caseyville Township

*Based on a \$150,000 home with \$6000 exemption, City portion would increase by \$ 9.50
 Based on a \$150,000 home with \$6000 exemption, library portion would increase by \$ 2.77*

ORDINANCE NO. _____

**AN ORDINANCE AMENDING
ORDINANCE 623, ZONING
DISTRICTS OF THE
CITY OF O’FALLON, ILLINOIS FOR
399 NORTH SEVEN HILLS ROAD,
PARCEL NUMBER: 04-20.0-400-006**

WHEREAS, the applicants, Richard and Kathryn Kurtz have filed a petition with the City of O’Fallon for a zoning change of the property currently located at 399 North Seven Hills Road in the City of O’Fallon, as “SR-1B” Single Family Residential Dwelling District; and

WHEREAS, the applicant has filed an application with the City of O’Fallon, Illinois pursuant to the requirements of all applicable laws; and

WHEREAS, said Planning Commission of the City of O’Fallon, Illinois held a public hearing on November 10, 2015, in accordance with state statute, and recommended to approve the petitioner’s request to obtain SR-1B, Single Family Residential Dwelling District zoning for the property with a vote of 8-ayes to 0-nays; and

WHEREAS, on November 23, 2015 the Community Development Committee of the City Council reviewed the requested rezoning and recommended approval with a vote of X-ayes to X-nays.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O’FALLON, ST. CLAIR COUNTY, ILLINOIS AS FOLLOWS:

Section 1. Approval of the Zoning Amendment. That upon the effective date of this Ordinance, the described property, known as “399 North Seven Hills Road”, be henceforth classified as zoning district SR-1B Single Family Residential Dwelling District.

Section 2. Filing. A Certified Copy of this ordinance, with all referenced attachments, shall be filed with the City Clerk’s office of the City of O’Fallon, Illinois.

Section 3. Passage. This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

Passed by the City Council this _____ day of _____ 2015.

ATTEST:

Approved by the Mayor this _____ day

(seal)

of _____ 2015.

Philip A. Goodwin, City Clerk

Gary L. Graham, Mayor

ROLL CALL:	McCoskey	Meile	Albrecht	Kueker	Mouser	Hagarty	Roach	SUB TOTALS
Aye								
Nay								
Absent								

ROLL CALL:	Smallheer	Bennett	Marsh	Holden	Drolet	Cozad	Gerrish	SUB TOTALS	SUM OF TOTALS
Aye									
Nay									
Absent									



MEMORANDUM

TO: Planning Commission
FROM: Justin Randall, Senior City Planner
THRU: Ted Shekell, Community Development Director
DATE: November 10, 2015
SUBJECT: P2015-15: Kurtz

Location: 399 North Seven Hills Road, O'Fallon, IL
Applicant: Richard and Kathryn Kurtz
Owner: Richard and Kathryn Kurtz
Submitted: October 19, 2015

Background & Executive Summary

The subject property is approximately 2.96 acres in size and is zoned A - Agriculture District, with an existing single family residence. The parcels surrounding the property to the north and east are located in unincorporated St. Clair County (zoned as Rural Residential - RR3), while the majority of the property to the south and west are zoned Single Family Residential, including the Cedar Meadows subdivision (zoned SR-2) to the west and The Estates at Prairie Crossing (zoned SR-1B) to the south.

In conjunction with this zoning amendment, a minor subdivision will be recorded creating two lots. One lot will consist of 2.056 acres and the second lot will consist of 0.907 acres. The applicant proposes to subdivide the 0.90-acre piece of land so they can sell the ground for the construction of a new single family residence.

The property must be rezoned because the applicant desires to subdivide a 0.90-acre parcel off of the parent parcel, and the minimum lot size in the Agriculture District is 3 acres. Therefore, the entire 2.96 acres needs to be rezoned to SR-1B Single Family Residential Dwelling District, since neither of the subdivided lots would meet the 3 acres minimum lot size of the Agricultural District and only one of the lots would meet the 1-acre minimum lot size of the RR, Rural Residential District.

Existing Conditions

Surrounding Zoning:

North: St. Clair Co. RR3 & O'Fallon A
East: St. Clair Co. RR3 & O'Fallon A
South: SR-1B
West: SR-1 & SR-2

Surrounding Land Use:

North: A farmstead and Carriel Junior High School.
East: Farmland and single-family residences in the Seven Hills Estates subdivision.
South: Single-family residences in the Estates at Prairie Crossing
West: Single-family residences on large tracts of land and within the Cedar Meadow subdivision.

Applicable Ordinances, Documents and Reports

O'Fallon Comprehensive Plan:

The O'Fallon Comprehensive Plan Future Land Use Map depicts the subject property as Single Family Residential. The proposed rezoning to SR-1B, Single Family Residential Dwelling District is consistent with the Comprehensive Plan.

Code of Ordinances:

The proposed rezoning is subject to Chapter 158 (Zoning) of the Code of Ordinance and must meet the requirements of the SR-1B, Single Family Residential Dwelling District requirements.

Public Notice:

Public Notice of this project has been fulfilled in accordance with Section 158.255 and 158.256 of the City of O'Fallon Zoning Regulations. More specifically, the applicant has notified property owners within 250 feet of the subject property via certified mail of the filing of the zoning amendment. Additionally, the City has notified property owners within 250 feet of the subject parcel of the public hearing at least 15 days prior to the hearing and published notice of the public hearing in a local newspaper at least 15 days in advance. Proof of notification is on file with the City's Community Development Department.

Rezoning Discussion Points

General Discussion:

The property consists of 2.96 acres on the west side of Seven Hills Road, just north of the Estates at Prairie Crossing subdivision. The Comprehensive Plan for the Seven Hills Road Sub-Area and Corridor Plans identified appropriate land uses in the area from Troy-O'Fallon Road south near Old Vincennes Trail would primarily be low density single-family uses, institutional uses agricultural land with limited livestock and open space uses.

Additionally, the Future Land Use map designates the subject property as Single Family Residential. Single Family Residential Land Use Category designated land should be suburban in character, with full infrastructure and sewer connections. The subject property is a prime example for the mixture of land uses along Seven Hills Road and a rezoning to the SR-1B Single Family Residential Dwelling District is the appropriate zoning district to achieve the goals and objectives of the Comprehensive Plan.

Ingress and Egress

The existing driveway off Seven Hills Road will remain, with a second driveway proposed with the new residential construction project.

Utilities

The property is served by the City of O'Fallon for water and sanitary sewer service. The construction of a new home on the 0.90 acre lot will require sanitary sewer service. A proposed Sewer Line Easement has been provide through the property to provide access to an existing sewer main.

Criteria for considering General Rezoning applications:

In considering any application for rezoning, the Commission and the Governing Body may give consideration to the criteria stated below to the extent they are pertinent to the particular application. The Commission and Governing Body also may consider other factors that may be relevant to a particular application. The rezoning of the subject property appears to meet each of the following zoning criteria:

- a) the existing uses and zoning of nearby property;
- b) the extent to which property values are diminished by the particular zoning restrictions;

- c) the extent to which the destruction of property values of plaintiff promote the health, safety, morals or welfare of the public;
 - d) the relative gain to the public as compared to the hardship imposed upon the individual property owner;
 - e) the suitability of the subject property for the zoned purposes;
 - f) the length of time the property has been vacant as zoned considered in the context of land development in the area in the vicinity of the subject property;
 - g) the care that the community has taken to plan its land use development, and
 - h) the community need for the proposed use.
-

Conclusion and Recommendation

Staff recommends approval of the requested rezoning to the SR-1B, Single-Family Residential Dwelling District.

Attachments

1. Project Application & Proposed Subdivision
2. Zoning Map
3. Surrounding Land Use Map

PETITION FOR ZONING AMENDMENT

Community Development Department, O'Fallon City Hall
255 South Lincoln Avenue, 2nd Floor
O'Fallon, IL 62269 Phone (618) 624-4500 Ext. 4

Amendment Request No. P2015-15
Date: 10-19-15

Date set for hearing: 11/10/15 (Do not write in this space -- For office use only)
Date hearing held: _____
Newspaper: _____
Recommendation of Planning Commission:
() Denied
() Approved
() Approved with modification
Date: _____

Perm. Parcel No. 04-200-400-006 FALLON
Fee paid: \$ 250⁰⁰ Date: 10/19/15
Building Permit App. No. _____
Action by City Council: DATE PAID
() Denied
() Approved
() Approved with modification
Date: _____

INSTRUCTIONS TO APPLICANTS: PLEASE PRINT. All information required by the application must be completed and submitted herewith. Applicants are encouraged to visit the Community Development Department for any assistance needed in completing this form.

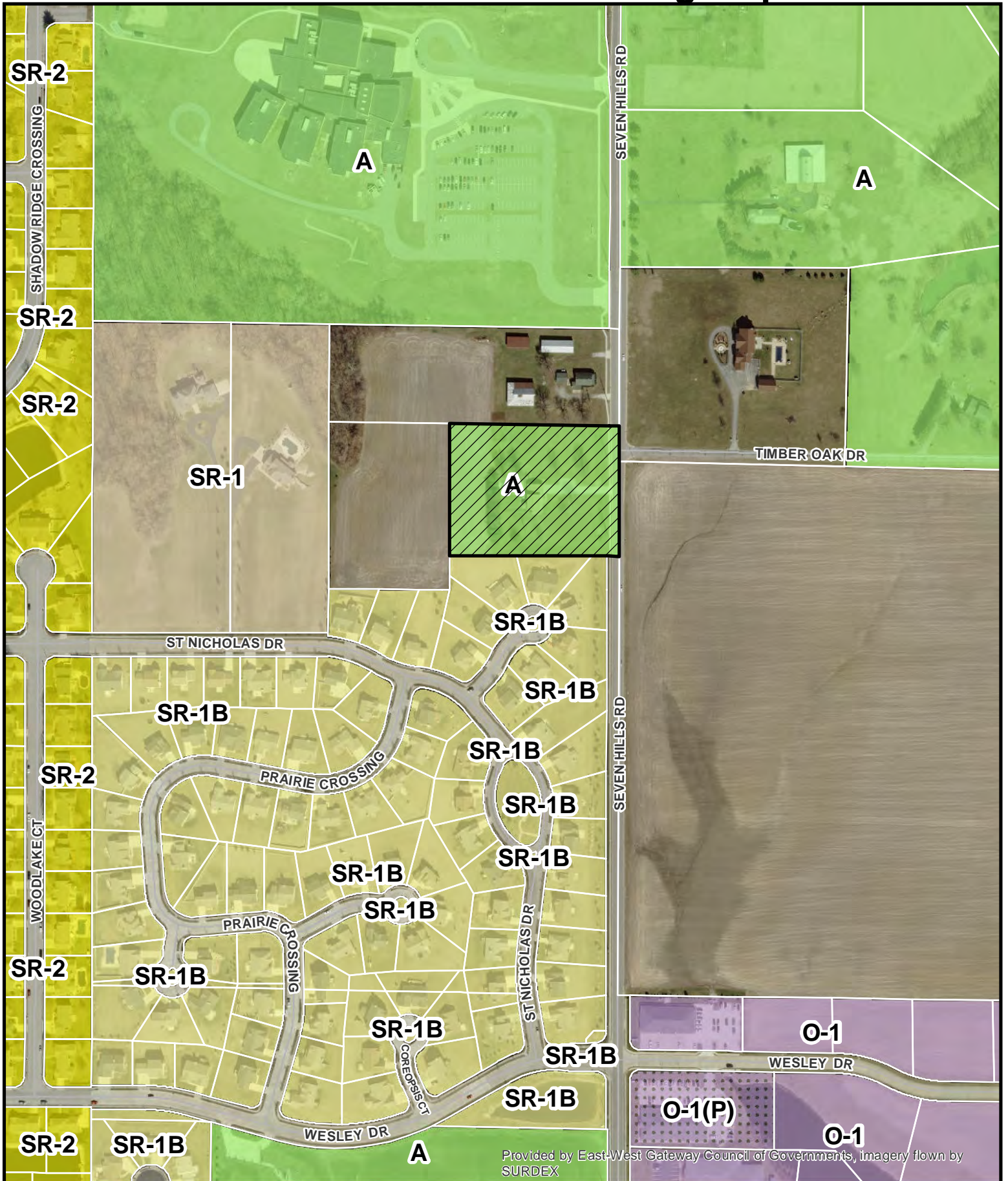
- Name of property owner(s): Richard + Kathryn Kurtz Phone: 618-334-0592
Mailing address: 399 N. 7 Hills Rd. O'Fallon, IL E-Mail: rgkmkurtz@yahoo
- Applicant's name: Same as Above Phone: 618
Mailing address: _____ E-Mail: _____
- Property interest of applicant (Owner, Contractor, etc.): Owner
- Address of property: 399 N. 7 Hills Rd. O'Fallon, IL Parcel (Tax) ID #: 04200400006
- Present use of property: Agricultural w/ 1 house Present Zone District: A
Proposed use of property: Residential w/ 2 houses Proposed Zone District: SR1B
- Zone District Classifications of adjacent properties: A & SR1B
- Area of land rezoning requested for: 3.19 acres/square feet.
- This application must be filed with two copies of a plat map of the subject property drawn to a scale not less than one (1) inch equals Two-Hundred (200) feet.
- An amendment is requested to amend the zone district classification of certain described properties shown on the Zone District Map. A statement of the applicant's described reasons and factual information supporting the requested rezoning is attached.

I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

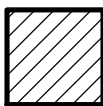
I consent that the entry in or upon the premises described in this application by any authorized official of O'Fallon, Illinois for the purpose of inspecting or of posting, maintaining, and removing such notices as may be required by law.

Date: 10-19-15 Signature of Applicant: Kathryn Kurtz
Date: 10-19-15 Signature of Owner: Richard G. Kurtz Kathryn M. Kurtz

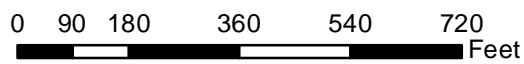
P2015-15: Kurtz - Zoning Map



Provided by East-West Gateway Council of Governments, imagery flown by SURDEX



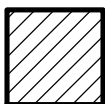
Subject Property



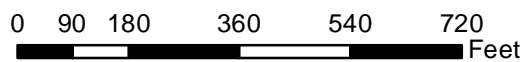
P2015-15: Kurtz - Surrounding Land Use Map



Provided by East-West Gateway Council of Governments, imagery flown by SURDEX



Subject Property





CITY COUNCIL AGENDA ITEM

To: Mayor Graham and City Council

From: Ted Shekell, Community Development Director
Walter Denton, City Administrator

Date: December 7, 2015

Subject: P2015-15: Kurtz – Zoning Amendment & Minor Subdivision – 1st Reading & Resolution

List of committees that have reviewed: The Planning Commission held a public hearing on the above referenced application at their November 10, 2015 meeting. The Commission voted 8-ayes and 0-nays to approve the requested zoning application for Kurtz. The Community Development Committee reviewed the zoning amendment and minor subdivision at its November 23, 2015 meeting and recommended approval with a vote of 6-ayes to 0-nays.

Background

The petitioner, Richard and Kathryn Kurtz has filed a petition to rezoning and subdivide their property located at 399 North Seven Hills Road, Parcel Number 04-20.0-400-006, having approximately 2.96 acres. The subject property is approximately 2.96 acres in size and is zoned A - Agriculture District, with an existing single family residence. The parcels surrounding the property to the north and east are located in unincorporated St. Clair County (zoned as Rural Residential - RR3), while the majority of the property to the south and west are zoned Single Family Residential, including the Cedar Meadows subdivision (zoned SR-2) to the west and The Estates at Prairie Crossing (zoned SR-1B) to the south.

In conjunction with this zoning amendment, a minor subdivision will be recorded creating two lots. One lot will consist of 2.056 acres and the second lot will consist of 0.907 acres. The applicant proposes to subdivide the 0.90-acre piece of land so they can sell the ground for the construction of a new single family residence. Overall, the plat meets the area and balk requirements of the city's codes, but a few minor additions to the plat will be completed prior to the City signing off on the plat.

Please see the attached Plan Commission Project Report for more detailed information on the proposal.

Legal Considerations, if any: None

Budget Impact: None

Staff Recommendation: Staff recommends approval of both the Zoning Amendment and minor subdivision for 399 North Seven Hills Road, Parcel Number 04-20.0-400-006.

CITY OF O'FALLON
ORDINANCE NO. _____

**AN ORDINANCE AMENDING
ORDINANCE 623, ZONING
DISTRICTS OF THE
CITY OF O'FALLON, ILLINOIS
(DEVELOPMENT KNOWN AS
"STONE BRIDGE ESTATES")
LOCATED IN THE PREVIOUSLY
APPROVED STONE BRIDGE
MASTER DEVELOPMENT PLAN**

WHEREAS, Stone Bridge Estates ("Subdivision"), a residential development in the City of O'Fallon, IL ("City"), was previously zoned as part of a Master Plan Development ("MPD") by and through Ordinance No. 3344 (and any other amendments, resolutions or variances that may have been approved in connection therewith) (herein collectively the "Ordinance");

WHEREAS, the Ordinance approves a development plan and sets forth conditions for the church site, the 110 villa units and the 63 single-family residences (which was mistakenly stated as 62 units in the Ordinance) located on an approximately 66.8 acre tract of land located near Hartman Lane and Three Rivers Drive ("Overall Tract");

WHEREAS, the Ordinance sets forth certain requirements of the single-family detached residential portion of the Overall Tract that is zoned SR-1B(P) and includes elevations approved to be constructed in this single-family detached residential portion of the project;

WHEREAS, McBride Stone Bridge, LLC ("McBride") is currently under contract to purchase 55 lots (being Lot Nos. 1, 2, 4 through 14, 17 through 22, 25 through 32, 34 through 48, 50, and 52 through 63) ("McBride Lots") of the 63 detached single-family residential lots that are subject to the Ordinance;

WHEREAS, the applicant, McBride, has filed an application requesting approval of an amended planned use rezoning to authorize construction of single family residential homes on the McBride Lots in accordance with the McBride's home plans as submitted with the application and to clarify certain conditions in the Ordinance due to the current stage of development of the Subdivision and the change in builders;

WHEREAS, the applicant has filed an application with the City of O'Fallon, Illinois pursuant to the requirements of all applicable laws, including City Ordinance 3471, "Planned Uses"; and

WHEREAS, McBride submitted the Application and Narrative for approval by the City outlining the revised agreed-upon provisions; and

WHEREAS, McBride requests the following amendments to the Ordinance with respect only to the McBride Lots; and

WHEREAS, the City of O'Fallon does not have an ordinance placing a minimum or maximum size for any residential dwelling unit meeting all applicable building codes; and

WHEREAS, the City of O'Fallon does not have an ordinance that regulates the type of exterior materials required for any residential dwelling unit meeting all applicable building codes.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O'FALLON, ST. CLAIR COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. Approval of Amendment to Zoning Ordinance. With respect to the McBride Lots only, the Ordinance is hereby amended per the following conditions:

- (a) There are 63 approved and platted lots in Stone Bridge Estates, as opposed to the previously mistakenly stated 62 lots;
- (b) The attached elevations are permitted to be constructed on any of the McBride Lots;
- (c) Any provision regarding construction materials and minimum and maximum square footage requirements for dwelling units noted in any previous ordinance governing Stone Bridge Estates are hereby rescinded and shall be considered inapplicable and unenforceable;
- (d) For each home constructed by McBride, if and only if the home is actually constructed, McBride will contribute \$866.19 per home to the City's park fund;
- (e) The setbacks for the homes will be 25' front, 25' rear and 15' between homes, with the exception that Lots 1 through 7 can have a 20' front setback in order to accommodate the construction of a deck on the back of the homes; and
- (f) The requirements of the southbound turn lane on Hartman Lane and the stub street along the west side of the development have been constructed according to plan and meet the requirements of the City. The drive aisle providing secondary access to Hartman Lane will not be required of McBride and its nonexistence shall not prevent McBride from obtaining building and/or occupancy permits within the Stone Bridge Estates subdivision.

Conflicting ordinances or pertinent portions thereof in effect at the time this ordinance takes effect are hereby repealed.



PROJECT REPORT

TO: Planning Commission
FROM: Justin Randall, Senior City Planner
THRU: Ted Shekell, Community Development Director
DATE: November 10, 2015
PROJECT: P2015-14: Amended Stone Bridge Estates, Planned Use

Location: Stone Bridge Estates subdivision, off of Hartman Lane and Three Rivers Drive
Ward: 5
Applicant: Jeannie Aumiller, McBride Stone Bridge, LLC
Owner: Stone Bridge Estates Development Company, LLC
Submitted: October 5, 2015

Introduction & Background

The applicant, McBride & Son Homes, is requesting a revised planned use ordinance from the City Council regarding new single-family home elevations the company is proposing to construct at Stone Bridge Estates, which is located in the same Planned Development as Stone Bridge Villas on Hartman Lane. The original Planned Development approved by Council granted that certain single-family home elevations would be built on the 63 lots in the Estates. These were homes proposed to be built by the owner of the project at that time, Rev Casey, who has since relinquished ownership of the single family Estates lots through foreclosure on the development by the bank. Since then a resolution was passed by the City Council in 2010 to approve revised elevations to Dettmer Homes. Dettmer Homes constructed 8 single-family residences. Should the elevations proposed by McBride & Son Homes be approved as a part of an amended planned use, the infrastructure is in place to begin building immediately on the remaining 55 single-family lots.

McBride & Son Homes have been building homes in the St. Louis metro area for over 60 years. McBride is currently building in O'Fallon at the Stone Briar subdivision off Old Collinsville Road. McBride & Son Homes are proposing to build their Bayside and Oakwood series of single-family homes, with sodded lots, a street tree and front lawn plantings. McBride & Son Homes proposes building single-family homes in the Estates; however, their home elevations are not the same exact ones originally approved by the City Council in the planned use development and subsequently amended by resolution for Dettmer Homes.

The purpose of the amended planned use is to provide McBride & Sons with a clean zoning approval for their construction project.

Community Development Department

255 South Lincoln Avenue, O'Fallon, IL 62269 ♦ P: 618.624.4500 x 4 ♦ F: 618.624.4534

Discussion Points/Issues

Land Use / Traffic Circulation / Utilities

The application will still only permit single-family residences in the Stone Bridge Estates subdivision. No changes to the traffic circulation or utilities have been proposed from the original approval. All 63 lots are platted and all improvements have been constructed as required. Sidewalks will be required with each new home permitted approved for McBride & Son Homes. The full detailed analysis of the site and previous elevations can be found in the previous recorded Ordinance #3344, attached to this report.

Elevations & Existing Approvals

The original elevations approved with the planned use and the amended elevations (from 2010) have been attached to the report. McBride & Son Homes had a number of concerns regarding attachments to Ordinance #3344 to have clarified in an amended approval.

- An exhibit attached to the ordinance indicates the intent was to construct homes in the 1,800 – 2,400 square foot size range. McBride & Son Homes would like to construct a minimum square footage of 1,500 square feet (not including basement), with no maximum range.
 - The City does not have an ordinance that places a minimum or maximum size on a house meeting all building codes. If any requirements on sizing are within private covenants or restrictions, the City does not regulate those private agreements.
- An exhibit attached to the ordinance indicates the exterior materials will contain brick and siding. McBride & Son Homes would like to clarify that brick, siding or a combination of both, may be used on each residence constructed.
 - The City does not have an ordinance that requires certain types of exterior building materials on a house meeting all building codes. If any requirements on sizing are within private covenants or restrictions, the City does not regulate those private agreements.
- The required park fee was \$64,770 for the Stone Bridge Estates development (calculates to \$866.19 per lot). McBride & Son Homes would like that the park fund is \$866.19 per home constructed by McBride & Son.
 - The \$866.19 / lot constructed by McBride & Son Homes is consistent with the approved ordinance.
- In 2012 a variance was granted for Lot 1 – 7 to reduce the front setback to 20 feet. The variance runs with the ground, however can be included in the revised ordinance. All other lots will meet the required SR-1B setbacks of 25-foot front, 25-foot rear and 7.5-foot sides.

Agreement with Stone Bridge Villas HOA

Although not a requirement of the City, McBride & Son Homes has worked with the Stone Bridge Villas Home Owners Association to reach an agreement with the Villas based on a previous agreement between the Villas HOA and Dettmer Homes (agreement attached). In the agreement McBride & Son Homes agreed to only construct single story homes on Lots 1-7 due to the grade differentials between the Estates and Villas, Additionally, for any home constructed on Lots 1 – 14 (lots adjoining the Villas) will have earth-toned colored exteriors, shutters, a 5-foot vinyl fence along the rear yard and a fee of \$428.57 per lot will be paid to the Villas HOA for tree plantings. In return, the Villas does not have any approval rights for square footage, architectural style and materials used by McBride & Son Homes in the Stone Bridge Estates Subdivision. Thus, with this agreement the Villas HOA has agreed with the proposed change in the elevations proposed by McBride & Son Homes.

Staff Recommendation

Staff believes the elevations are consistent enough with the originally approved elevations in the Stone Bridge Estate development and recommends approval of the amended planned use, with the following conditions:

1. A variance to Lot 1-7 to reduce the front setback to 20 feet.
2. A Park Fee of \$866.19 shall be collected for each home permit approved for McBride & Son Homes

3. The sidewalk associated with the lot will be constructed with each home permit approved for McBride & Son Homes.
4. All other required improvements have been constructed previously.

Attachments

Attachment 1 – Project Application, Narrative & Elevations

Attachment 2 – Zoning Map

Attachment 3 – Surrounding Land Use Map

Attachment 4 – Signed agreement from Stone Bridge Villas Homeowners Association

Attachment 5 – Ordinance #3344 approving Stone Bridge Master Planned Development (2005)

Attachment 6 – Resolution 2010-23 approving minor revision for Dettmer Homes Elevations (2010)



Planned Use / Re-Zoning Application

NAME OF PROJECT: Stone Bridge Estates
ADDRESS/GENERAL LOCATION: near Hartman Lane and Three Rivers Drive
SUBDIVISION NAME & LOT NUMBER(S): Stone Bridge Estates
Lot Nos. 1, 2, 4 thru 14, 17 thru 22, 25 thru 32, 34 thru 48, 50, 52 thru 63
PARCEL NUMBER(S):

PLEASE CHECK THE TYPE OF APPLICATION (PLEASE CHECK ONE):

- Planned Use - Revisions to Master Planned Development
Re-Zoning (Standard Map Amendment)

SUMMARY DATA (RESPOND TO ALL THAT APPLY):

PRESENT ZONING: SR-1B
PROPOSED ZONING: SR-1B
PROPOSED # OF LOTS:
PROPOSED # OF DWELLING UNITS:
PROPOSED NUMBER OF BUILDINGS:
PROPOSED GROSS FLOOR AREA:
AREA IN ACRES:
PRESENT USE:

APPLICANT INFORMATION:

NAME: Jeannie Aumiller
COMPANY: McBride Stone Bridge, LLC
ADDRESS: 16091 Swingby Ridge Ste. 300
Chesterfield, MO 63017
PHONE: 314-336-0209
FAX:
EMAIL: jaumiller@mcbridehomes.com

DESIGN PROFESSIONAL INFORMATION:

NAME:
COMPANY:
ADDRESS:
PHONE:
FAX:
EMAIL:

Signature of Jeannie M. Aumiller

Signature of Design Professional

STAFF USE ONLY
DATE RECEIVED:
APPLICATION RECEIVED BY:
APPLICATION FEE:
PROJECT ID #:
STAFF ASSIGNED:
PLAN REVIEW FEE DEPOSIT REC'D:



Attachment to Re-Zoning Application

Stone Bridge Estates

The employee owners of McBride & Son Homes are proud to have the opportunity to build homes in the Stone Bridge Estates subdivision in the City of O'Fallon. McBride has a long history of successful partnerships with the City of O'Fallon on outstanding residential developments, including the Stone Briar subdivision. McBride Stone Bridge, LLC ("McBride") currently has 55 of the 63 single-family detached lots under contract. McBride is proposing to construct homes on these lots in the Stone Bridge Estates subdivision with minimal clarifications and changes to the Master Plan Development zoning that is currently in place for the entire development which is a 66.8 acre tract of land that included a church site, 110 villa units and 63 detached single-family residential units. McBride will be constructing its popular Bayside and Oakwood series of single-family detached homes. McBride includes fully-sodded lots, one street tree, and approximately ten plants/shrubs in a mulched area in the front yard of each lot to provide a very pleasing and welcoming appearance.

McBride is requesting the City's approval for revisions to the SR-1B Master Plan Development Zoning Ordinance covering all 55 lots McBride has under contract.

Revised Zoning Ordinance: McBride requests the City's approval to amend the Zoning Ordinance over the 55 lots McBride has under contract for the following reasons:

- The current Zoning Ordinance mistakenly states that there are 62 detached single-family residences, when in fact there are 63 planned and platted detached single-family residences pursuant to the record plat previously approved by the City.
- The current Zoning Ordinance approves the elevations from previous builders' homes. The previous builder(s) are no longer completing the build-out of the subdivision and, therefore, McBride is requesting that its elevations be approved.
- The current Zoning Ordinance states that the square footage of the homes will be between 1,800 and 2,400 sq. ft. (which square footage may have been intended to include basement square footage). McBride is requesting that the minimum square footage be 1,500 square feet (not including basements) and that there be no maximum square footage.
- The current Zoning Ordinance states that the exterior materials will contain brick and siding. McBride would like to clarify that brick, siding, or a combination of both, may be used on each residence constructed.
- The current Zoning Ordinance states a park fund contribution of \$64,770 is required for the overall development. McBride would like to clarify that the park fund contribution is \$866.19 per home constructed by McBride.
- The current Zoning Ordinance discusses setbacks for the SR-1B as being 25' front, 25' rear and 15' between homes and an exception was made for Lots 1 through 7 to have a 20' front setback in order to accommodate the construction of a deck on the back of the homes (as granted per Variance No. ZH02012-02). McBride would like to confirm the setbacks in the amended ordinance.

- The current Zoning Ordinance requires a southbound turn lane on Hartman Lane, a stub street along the west side of the development, and a drive aisle providing secondary access to Hartman Lane. McBride would like to clarify that these requirements have been satisfied and nothing further will be required of McBride for the development.
- The City indicated to McBride that there was an agreement between the previous builder and the Stone Bridge Villas HOA regarding the construction of homes on Lots 1 through 7. McBride met with the Stone Bridge Villas HOA and reached an agreement which is memorialized in a letter agreement signed by the parties.

Royal II

The Bayside Series



Country Colonial



Provincial



Colonial



Renaissance

MCBRIDE
& SON
HOMES

A Company Owned by its Employees

Ashford

The Bayside Series



Classic



Prairie



American Colonial



Traditional



French Colonial



Renaissance

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Maple

The Bayside Series



Country Colonial



Craftsman



Colonial



Provincial

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Berwick

The Bayside Series



Classic



Craftsman



Prairie



Tudor



Country II

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Sterling

The Bayside Series



Classic



Prairie



Revival



Tudor



Country



Craftsman

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Hickory

The Oakwood Series



Country Colonial



Colonial I



Provincial



Colonial II

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Cambridge

The Oakwood Series



Country Colonial



Colonial II



Colonial III



French Provincial



French Colonial II

MCBRIDE & SON HOMES

A Company Owned by its Employees

Magnolia

The Oakwood Series



Country Colonial



Colonial



French Colonial



French Provincial

MCBRIDE
& SON
HOMES

A Company Owned by its Employees

Hermitage II

The Oakwood Series



Country Colonial



Colonial II



Provincial



Plantation II



American Colonial



Traditional II

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Sequoia

The Oakwood Series



Colonial



French Colonial



American Colonial



Provincial



Renaissance

MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

Nottingham

The Oakwood Series



Classic



Colonial



French Colonial



Provincial



American Colonial

MCBRIDE & SON HOMES

A Company Owned by its Employees

Pin Oak

The Oakwood Series



Country Colonial



American Colonial



Traditional



Renaissance



Craftsman

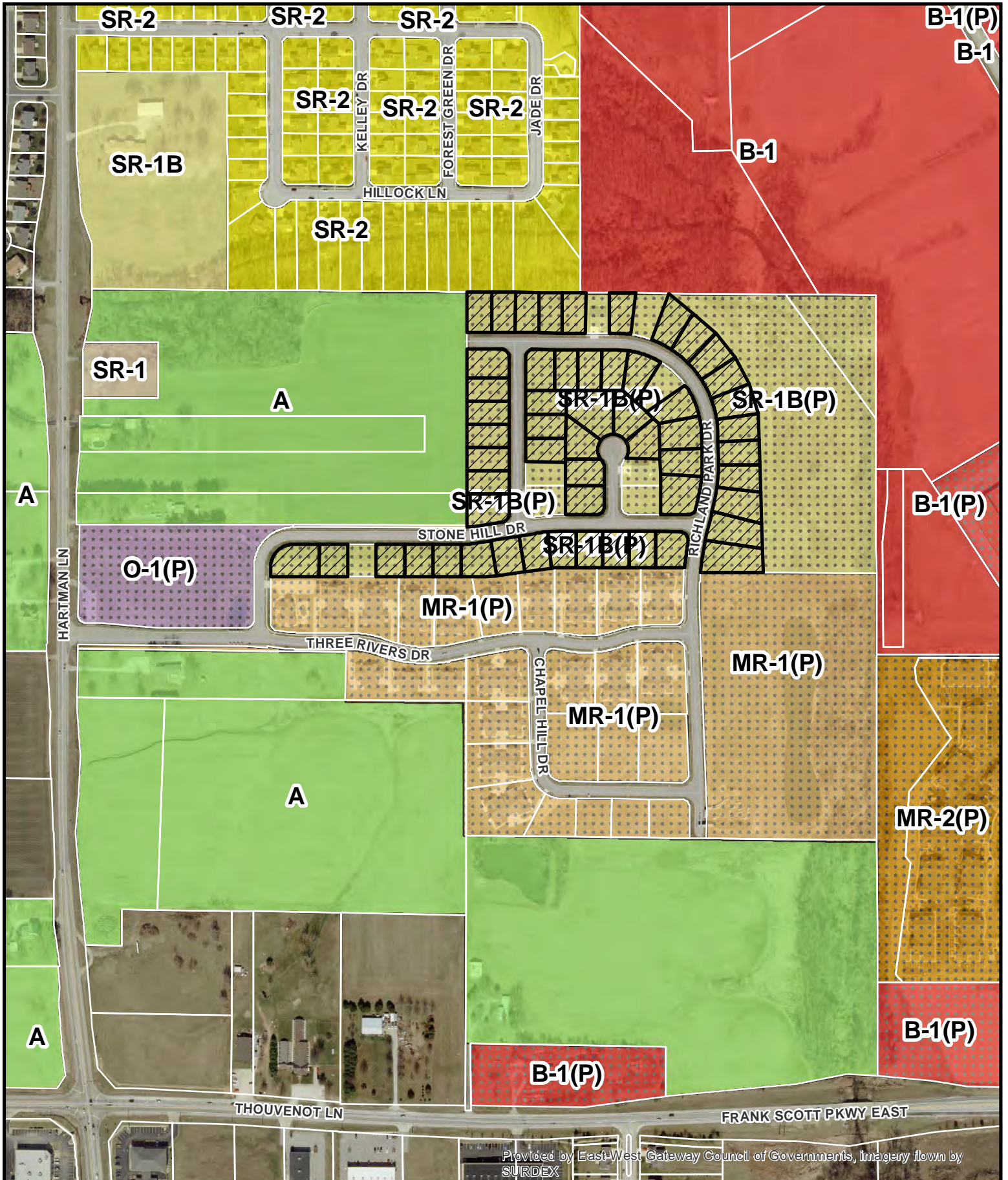


Rustic Craftsman

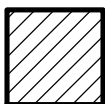
MCBRIDE **& SON** **HOMES**

A Company Owned by its Employees

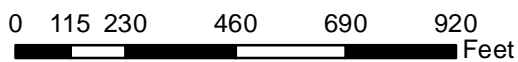
P2015-14: Stone Bridge Estates - Zoning Map



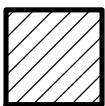
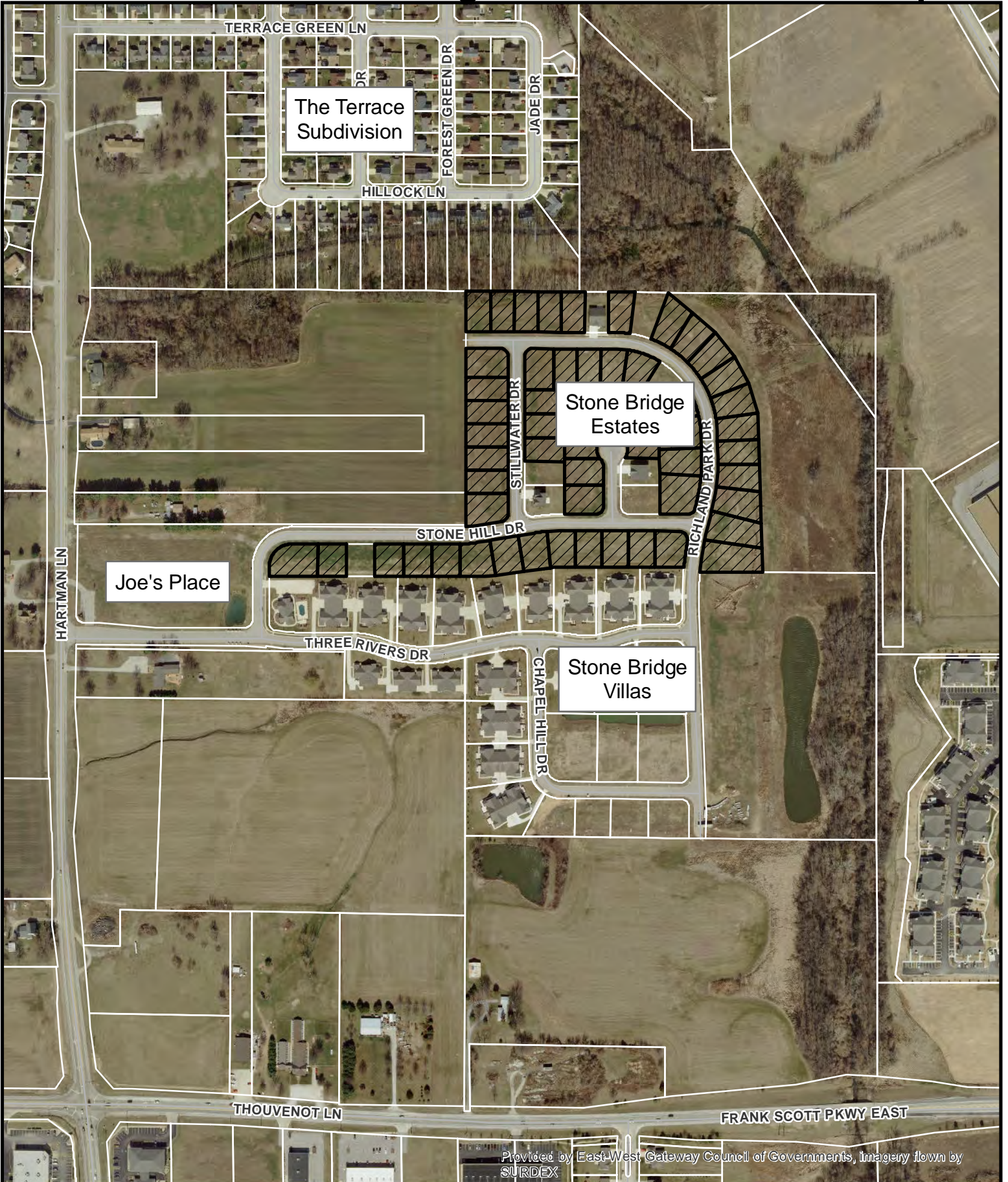
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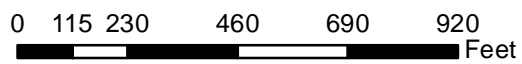
Subject Properties



P2015-14: Stone Bridge Estates - Land Use Map



Subject Properties



16091 Swingley Ridge Road
Suite 300
Chesterfield, MO 63017



636-537-2000
Fax 636-537-2546

Aaron Windholz
Direct Dial: (314) 336-0234

October 2, 2015

Houston Handley, President
Carroll Wheeldon, Secretary
Tim McCann, Treasurer
Stone Bridge Villas Homeowners Association

Re: Letter Agreement regarding Stone Bridge Estates

Dear Directors:

First of all, I want to thank you for meeting with me and Jon Kelley on September 2, 2015 to discuss this matter. We very much appreciate your time and we enjoyed meeting with you and understanding your concerns and requests related to the Stone Bridge Estates homes. As we discussed in that meeting, McBride Stone Bridge, LLC ("McBride") is under contract for the option to purchase the remaining vacant lots in Stone Bridge Estates ("Estates"). Through the process of due diligence, McBride was made aware by the City of O'Fallon ("City") that the Stone Bridge Villas Homeowners Association ("Villas HOA"), on behalf of the Stone Bridge Villas homeowners, made requests to the previous homebuilder, Dettmer Homes, concerning the homes to be constructed in Stone Bridge Estates. The purpose of the September 2, 2015 meeting was to understand exactly what the requests of the Villas HOA are with regard to the homes in the Estates and to memorialize the agreement in a letter for the purpose of clarification and providing information to the City. This letter agreement shall set forth the entire agreement between McBride and the Villas HOA regarding the homes in the Estates.

1. McBride shall not offer for sale or build any plans on lots 1 through 7 of the Estates that are more than one-story in height. The Villas HOA does not desire and is not granted any approval rights on any specific lot or plan for any lots within the Estates, including, but not limited to, square footage of any homes located within the Estates or architectural style or materials used on any lots located within the Estates.
2. Any home that McBride constructs on Lots 1 through 14 of the Estates shall have earth-tone-colored exteriors and all exterior windows will have shutters to match the style of the rest of the home (except where shutters will not fit, such as on bay windows).
3. Should McBride construct a home on any of lots 1 through 14 of the Estates, McBride will cause to be constructed a 5' tall vinyl fence along the rear property line of such lot, common with the property line of the corresponding villa lot. Such fence will be maintained by the Estates homeowners' association.

4. If, and only if, McBride constructs and closes on the sale of the home to a customer on any of lots 1 through 14 of the Estates, McBride will pay \$428.57 per lot to the Villas HOA following such closing of each such lot. This payment is made for the Villas HOA to purchase and plant trees on the villas property side of the fence installed on the common property line as discussed in Item No. 2 of this letter agreement. The maintenance of the trees will be the responsibility of the Villas HOA.

By signature below, the Villas HOA, for and on behalf of the owners of the Stone Bridge Villas, represent and warrant that the items listed above represent the entirety of the requests made by the Villas HOA and represent the entire agreement governing the development and building within the Estates. This agreement supercedes and replaces any previous agreements entered into by between the Villas HOA and any owner, developer or homebuilder, including, but not limited to, Dettmer Homes, related to the Estates.

Yours very truly,

McBRIDE STONE BRIDGE, LLC

By:

Aaron Windholz
Project Manager

Agreed and consented to by:

Stone Bridge Villas Homeowners Association

By: Houston Handley
Director: Houston Handley, President

By: Carroll B. Wheeldon
Director: Carroll Wheeldon, Secretary

By: Tim McCann
Director: Tim McCann, Treasurer

Dated: October 7th, 2015

A01918106

CLERK'S CERTIFICATE

BOOK 4199 PAGE 1831

STATE OF ILLINOIS)
COUNTY OF ST. CLAIR) ss.
CITY OF O'FALLON)

120-7-528

I, PHILIP A. GOODWIN, City Clerk for said City of O'Fallon, duly elected, qualified, and acting, and keeper of the records and seals thereof, do hereby certify the attached to be a true, complete, and correct copy of Ordinance No. 3344 duly passed by the City Council of the City of O'Fallon at a Regular meeting of said City Council on the 6th day of June 2005, as the said matter appears on file and of record in this office.

I do further certify that prior to the execution of this certificate by me, the said Ordinance has been spread at length upon the permanent records of said City, where it now appears and remains in the book of Ordinances of the City kept by myself, a book labeled Ordinances 3319 -

IN WITNESS WHEREOF, I have hereunto set my hand and seal of said City at my office in the City of O'Fallon, Illinois, this 30 day of JUNE 2005.

(SEAL)

PHILIP A. GOODWIN,
City Clerk
City of O'Fallon
St. Clair County, Illinois



36

ORDINANCE NO. 3344

BOOK 4199 PAGE 1832

**An Ordinance Amending Ordinance 623,
Zoning Districts of the City of O'Fallon,
Illinois [Planned Use Development known
as "Stone Bridge Master Planned
Development" Parcel Numbers
(03-36.0-300-023 and 03-36.0-300-024)]**

WHEREAS, the applicants, Reverend Jerry Casey, MCC Enterprises at Illinois Inc., and John Holthaus, Stone Bridge Villas, LLC, are requesting to develop a Master Plan Development consisting of 62 single-family residences, 110 villa units and a 5.5 acre church site, and the applicant proposes to rezone the property from A, Agriculture to SR-1B, Single-Family Residence Dwelling District and MR-1(P) Planned Two, Three, and Four-Family Residence Dwelling District, pursuant to the proposed development shown on the attached Preliminary Site Plan (Exhibit B); and

WHEREAS, the applicant has filed an application with the City of O'Fallon, Illinois pursuant to the requirements of all applicable laws, including City Ordinance 2052, "Planned Uses"; and

WHEREAS, said Planning Commission of the City of O'Fallon, Illinois held a public hearing on April 12, 2005, in accordance with state statute, and recommended to deny the petitioner's request to obtain SR-1B and MR-1(P) District zoning for the property subject to the conditions as outlined in the report from the Planning Commission, attached hereto and declared to be an inseparable part hereof (Exhibit A); and,

WHEREAS, following the public hearing on April 12, 2005, the applicants revised the Stone Bridge Master Planned Development, thereby eliminating the condition to grant variances for the front and rear setbacks of the villa development; and,

WHEREAS, on April 25, 2005, the Community Development Committee of the City Council reviewed the revised Stone Bridge Master Planned Development and recommended the project for denial; and,

WHEREAS, the applicant has agreed to develop the property and buildings in accordance with the attached Preliminary Site Plan, along with the building types and materials included in Exhibit B, and consistent with the recommendations of staff, and all applicable laws, including City Ordinance 2052 regulating Interim Planned Uses, in a manner considerate of adjoining properties, and to protect the general public safety, health, and welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O'FALLON, ST. CLAIR COUNTY, ILLINOIS AS FOLLOWS:

Section 1. Approval of the Zoning Amendment and Preliminary Site Plan. That upon the effective date of this Ordinance, the described property, known as “Stone Bridge Master Planned Development” Planned Use, be henceforth classified as zoning district SR-1B, Single-Family Residence Dwelling District and MR-1(P) Planned Two, Three, and Four-Family Residence Dwelling District, from its present A, Agricultural zoning designation and that said development be approved as a Planned Development and constructed in accordance with the proposed Preliminary Site Plan and the conditions set forth in Exhibit A. The terms and conditions of the approval are as follows:

1. The villa development shall include minimum 25’ front and 25’ rear yard setbacks, minimum 15’ utility easements along the front and rear property lines, a street with a minimum pavement width of 30’ in a 54’ City right-of-way and a sidewalk on both sides of the streets.
2. The single-family residential development shall provide a street stub along the west side of the development to accommodate a future street connection to Hartman Lane.
3. The development shall include a secondary access to Hartman Lane, which shall consist of a private drive aisle, minimum 22’ in width, on the five acres reserved for the church, which shall be constructed as part of the first phase of the development. This entrance shall be for emergency access only at this time.
4. The church shall comply with the Planned Use Ordinance and be required to submit a preliminary development plan for approval showing their proposed site plan prior to any city approvals of the church.
5. All grading, street and utility construction shall be done in a single phase for the entire planned development.
6. A southbound left turn lane and any other necessary improvements shall be constructed on Hartman Lane as part of the infrastructure requirements for this development in order to protect the general public health, safety, and welfare.

Section 2. Filing. A Certified Copy of this ordinance, with all referenced attachments, shall be filed with the City Clerk’s office of the City of O’Fallon, Illinois.

Section 3. Passage. This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

Passed by the City Council this 6th day of June 2005.

ATTEST:
(seal)

Approved by the Mayor this 6th day
of June 2005.

  
Philip A. Goodwin, City Clerk of Clair County, Illinois Gary L. Graham, Mayor

ROLL CALL:	Albrecht	Bennett	Bequette	Drolet	Grogan	Schmidt	Medford	Mayor Graham	SUB TOTALS
Aye				X		X	X	X	4
Nay		X	X						2
Absent	X				X				2

ROLL CALL:	Boone	Mouser	Reckamp	Henry	Renner	True	West	SUB TOTALS	SUM OF TOTALS
Aye			X	X		X	X	4	8
Nay	X	X			X			3	5
Absent								0	2



 MEMORANDUM

TO: Community Development Committee
FROM: Lisa Reime, Planner
THRU: Ted Shekell, Director of Planning and Zoning
DATE: April 22, 2005
SUBJECT: Stone Bridge Master Planned Development - Planning Commission Update

Planning Commission Update

The Planning Commission held a public hearing on the above referenced application at their Tuesday, April 12, 2005 meeting. The Commission voted 2 - yes and 6 - no, to recommend approval with the following conditions:

1. The villa development shall include minimum 20' front and 20' rear yard setbacks, minimum 15' utility easements along the front and rear property lines, a street with a minimum pavement width of 30' in a 42' City right-of-way and a sidewalk on one side of the street.
2. The single-family residential development shall provide a street stub along the west side of the development to accommodate a future street connection to Hartman Lane.
3. The development shall include a secondary access to Hartman Lane, which shall consist of a private drive aisle, minimum 22' in width, on the five acres reserved for the church, which shall be constructed as part of the first phase of the development.
4. The church shall comply with the Planned Use Ordinance and be required to submit a preliminary development plan for approval showing their proposed site plan prior to any city approvals of the church.

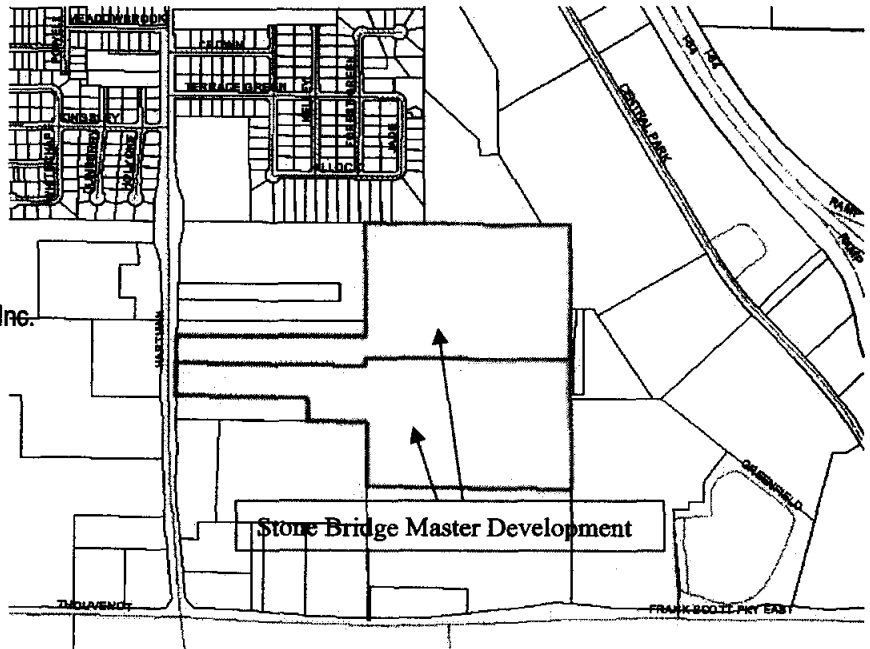
Following the public hearing, the developer revised the villa portion of the Master Plan. The density of the villas has been further reduced to 110 villa units and no variances would be required for the revised development plan. All streets with the single-family subdivision and the villa development will meet City standards and will be public streets. The developer has submitted a proposal which outlines the revisions to the plan.

Staff Recommendation: Staff recommends approval of the Stone Bridge Villas and Estates Development.

PROJECT REPORT

TO: Planning Commission
FROM: Lisa Reime, Planner
THRU: Residential Zoning and Subdivision Subcommittees
Ted Shekell, Director of Planning and Zoning
DATE: April 4, 2005
SUBJECT: P2005-08: Stone Bridge Master Planned Development – Zoning Amendment

Location: Hartman Lane, north of Frank Scott Parkway
Applicants: Stone Bridge Villas, LLC
John Holthaus
14562 Burnley Court
Chesterfield, MO 63017
Rev. Jerry Casey
MCC Enterprises & Illinois Inc.
9500 B Collinsville Road
Collinsville, IL 62234
Owners: Same as above
Submitted: February 18, 2005 (paid)
Subcommittees: Residential Zoning
Subdivision Review



Project Summary

The applicants, John Holthaus, Stone Bridge Villas, LLC, and Rev. Jerry Cased, MCC Enterprises & Illinois, Inc., have filed an application requesting approximately 66.80 acres of land be rezoned from A, Agricultural District, to MR-1(P), Planned Two, Three and Four-Family Residence Dwelling District, and SR-1B, Single-Family Residence Dwelling District. The property is comprised of two parcels, located on the east side of Hartman Lane, approximately 1,500 feet north of Frank Scott Parkway. Each parcel includes approximately 200' of frontage along Hartman Lane, 33.4 acres in size and irregular shaped. The property will be served by the City of O'Fallon water and by Caseyville Township sanitary sewer.

The proposal includes a residential development consisting of condominiums, or villas, marketed to retirees and pre-retirees to be developed on Parcel #1 (the parcel to the south). The development is an Empmark franchisee which has been constructed all across the country. The plan includes the construction of 32 buildings; 31-4 unit villas, 1-2 unit villas and a clubhouse, for a total of 126 dwelling units. Fourteen off-street parking spaces will be constructed adjacent to the club house. The villa units range in size from 1,321 square feet of living space to 1,856 square feet of

living space. The construction of the villa units will include wood frame construction, architectural shingles, brick and siding. Each unit will include an attached two-car garage. The villas development includes 9.29 acres of open space and flood plain, which is located on the eastern portion of the property. The applicant is proposing to construct a 30' wide public street in 42' of City right-of-way and a 4' sidewalk on one side of the street. They are requesting a variance from the City's requirement of 54' of right-of-way to 42' of right-of-way. This development is similar to the proposal submitted by Mr. Holthaus a few months ago for the Villas of Hartman Lane and requires the MR-1(P) zoning. The first proposal included 144 villa units, 24' private streets and no sidewalks within the development. This proposal was subsequently withdrawn by Mr. Holthaus.

The Stone Bridge Master Planned Development also includes a single-family residential subdivision to be developed on Parcel #2 (the parcel to the north). The plan includes the construction of 62 single-family dwelling units on lots with a minimum lot size of 10,000 square feet. The size of the dwelling units will range in size from 1,800 sq. ft. to 2,400 sq. ft. The construction of these homes will be wood frame construction, architectural shingles, brick and siding. The applicant is proposing to construct a 30' wide public street in 54' of City r-o-w and 4' sidewalks on both sides of the street as required by the subdivision ordinance. The flood plain which is located on the second parcel will remain undisturbed by the developer. This development requires the SR-1B zoning.

The parcels will also provide five (5) acres of land for a third use - a community church. The proposed church will be a 20,000 sq. ft. facility and a parking lot. The construction of the church will match the construction of the villas and the single-family residential lots. The church will be required to come before the Planning Commission and the City Council when they are farther along with their plans to receive zoning approval. The property reserved for the church will provide the Stone Bridge Master Planned Development with a secondary access onto Hartman Lane.

The Stone Bridge Master Planned Development has access from Hartman Lane. The applicants are proposing to construct a street, approximately 700 feet in length from Hartman Lane to the entrance of the villas development. This section of street would be constructed in accordance with the City's street standards and would include 60' of right-of-way and a 37'2" pavement width. As noted, the five acres devoted to the church will provide a secondary access to the development, although the access will remain a private drive aisle. This secondary entrance will be constructed during the first phase of the development in order to provide secondary emergency access to the development.

Applicable Ordinances, Documents and Reports

Applicable Ordinances: Zoning Ordinance and Interim Planned Use Ordinance. The proposed residential development is subject to Article XIX Planned Uses of the Zoning Ordinance and requires a development plan. The property is also subject to the MR-1, Two, Three, and Four-Family Residence Dwelling District and the SR-1B, Single-Family Residence Dwelling District requirements. Public Notice of this project has been fulfilled in accordance with Section 8.03 and 8.04 of the City of O'Fallon Zoning Ordinance. More specifically, the applicant has notified property owners within 250 feet of the subject property via certified mail of the filing of the zoning amendment. Additionally, the City has notified property owners within 250 feet of the subject parcel of the public hearing at least 15 days prior to the hearing and published notice of the public hearing in a local newspaper at least 15 days in advance. Proof of notification is on file with the City's Planning and Zoning Department.

Applicable Documents: O'Fallon Comprehensive Plan. The Comprehensive Plan Future Land Use Map depicts the subject property as Single-Family Residential, except for a small portion of the parcel to be used for the villas development, which is depicted as Neighborhood Residential. The density of Single-Family Residential is no more than 3 dwelling units per acre and is to include single-family detached dwellings or cluster type of subdivisions as a planned use. The density of Neighborhood Residential is no more than 7 dwelling units per acre and is reserved for single-family detached and single-family attached (villas) as planned use.

The Comprehensive Plan includes several goals and objectives that are relevant to the proposed development. The development is consistent with a land use, design, and community appearance goal which states, "to preserve the character and stability of existing neighborhoods, encourage a balanced range of housing options, and promote the continued development of new, high quality residential developments in our growth areas." An objective of this goal is to "encourage the development of residential options for senior citizens of varying incomes and lifestyles, including supportive living facilities, and master planned residential communities with amenities needed and desired by that population." An economic development goal of the City is "to promote responsible, high quality residential and non-residential development and encourage the expansion of existing commercial and industrial activities in a manner that maximizes existing financial and economic resources and minimizes the need for new facilities and services." A policy which is found under the Community Development Policies recommends requiring multiple routes of ingress and egress for major residential developments to accommodate emergency vehicles while ensuring that these routes are not designed to become collector routes for non-emergency traffic.

Discussion Points/Issues

The Residential Zoning and Subdivision Review Sub-Committees met with the applicant on site on March 11, 2005, to discuss the project and issues detailed below. Additional issues have been identified through further staff review and have been included in the discussion below. The following persons were present:

Mary Schmidt, Planning Commission
John Holthaus, Stone Bridge Villas, LLC
Ted Shekell, Planning Director, City of O'Fallon
Gene McCoskey, Planning Commission

Brian Harris
Ken Pinzke, Planning Commission
Lisa Reime, Planner
Rev. Jerry Casey, MCC Enterprises @ Illinois, Inc.

Access and Circulation

City staff and the Planning Commission had a concern with the developer's first proposal in regard to the villa development having only primary access to the property. The Stone Bridge Master Planned Development depicts one primary entrance from Hartman Lane which will be built to City street standards and a secondary access from Hartman Lane which consists of private drive aisle through the five acres of land reserved for the church. The developer of the single family development (Parcel #2), was asked to stub a street to the west of the single family development to eventually provide a second access to Hartman Lane and has complied with this request.

The applicants are proposing to construct a street, approximately 700 feet in length from Hartman Lane to the entrance of the villas development. This section of street would be constructed in accordance with the City's street standards and would include 60' of right-of-way and a 37'2" pavement width. The applicants are proposing to construct a 30' wide public street in 42' of City right-of-way and a 4' sidewalk on one side of the street in the villa development and a 30' wide public street in 54' of City r-o-w and 4' sidewalks on both sides of the street as required by the subdivision ordinance in the single-family residential development. It was discussed with the applicants that either the right-of-way width or the setback requirements could be modified in the villas. City staff preferred that the right-of-way be platted and 15' utility easements dedicated and that the variance could be granted on the front or rear yard setbacks.

A traffic study was required for the original proposal for the villa development and has been conducted based on the new development. The study indicated that the developments warrant a left turn lane, southbound on Hartman Lane. This improvement should be recommended as a condition for approval.

Setbacks and Utility Easements

The MR-1 District requires 25' front and rear yard setbacks. It is recommended that setbacks be granted in the villa development allowing a 20' front yard setback and a 20' rear yard setback in order to have flexibility in locating and

constructing the actual villa units. A minimum fifteen foot (15') utility easement is proposed along the front and rear yards of each villa lot.

A twenty foot (20') front and rear yard setback will allow the developer to accommodate a 42' right-of-way for the street and maintain 15' utility easements along the front and rear yards. Twenty foot (20') front and rear setbacks have been approved for similar villa developments including Villas at Hearthstone and Cambridge Condominiums.

Park Space Requirements

In accordance with the new Subdivision and Development Control Ordinance, 2.54 acres of park land would be required for this development. The villa development includes a clubhouse, pool and open space on 1.34 acres which can meet ½ of (1.27 acres) of the park requirement. The developers have stated that they will make a cash contribution in lieu of additional park space within the developments to meet the park requirement, which would equal approximately \$64,770 to the City's park fund.

Correspondence Received

As of the date of this report, staff received two phone calls from Alton Seabolt, residing at 1201 Hillock Lane, and Kory Best, residing at 1213 Hillcock Lane. Mr. Seabolt expressed his opposition to the project and Mr. Best asked general questions about the project and expressed some concerns with the project. Attached is a letter and Resolution adopted by the Central School District #104, Board of Education on February 14, 2005 stating its opposition to MR Zoning in its district's boundaries. This letter and Resolution were received in response to the applicant's, Mr. Holthaus, first proposal for the Villas at Hartman Lane development. No correspondence has been received from Central School District for the Stone Bridge Master Planned Development.

Review and Approval Criteria: Section 19.050(B) of the Interim Planned Development Ordinance lists several criteria for evaluating planned uses. The project appears to meet the review and approval criteria as it applies to this development in the following manner:

- The proposed development meets all applicable zoning standards set forth in the O'Fallon Zoning Regulations in regards to site development, except for the variances noted in this report.
- The proposed development is designed, located, and proposed to be operated so that the public health, safety, and welfare will be protected.
- Development of these parcels will not impede the normal and orderly development and improvement of the surrounding property, nor impair the use, enjoyment, or value of neighboring properties. Proper planning of utilities, access, and drainage for this development is crucial in allowing these neighboring properties to develop property.
- The Development incorporates adequate ingress and egress and an internal circulation pattern that minimizes traffic congestion.
- The site accommodates the buildings, parking, and streets with appropriate open space and safe ingress and egress.
- The proposed development meets the minimum dimension of areas of lots, and yards set forth in the applicable SR-1B district regulations and the MR-1 district regulations, except the front and rear yard setbacks for the villa development as noted in the report.
- The proposed architecture is harmonious with the surrounding residential development.

Conclusion and Recommendation

Summary

- Project meets all applicable sections of the City of O'Fallon Zoning Regulations, except the 25' front and the rear yard setbacks. A 20' front yard setback and a 20' rear yard setback are proposed in the Villas. A 20' front and rear yard setback were approved for similar villa developments, i.e., Villas at Hearthstone and Cambridge Condominiums.
- The residential development is in harmony with the Comprehensive Plan and the future land use recommendations for the property which included Single-Family Residential and Neighborhood Residential land uses.
- The residential development is of acceptable design and quality.

Recommendation

Approval of the Preliminary Development Plan with the following conditions:

1. The villa development shall include minimum 20' front and 20' rear yard setbacks, minimum 15' utility easements along the front and rear property lines, a street with a minimum pavement width of 30' in a 42' City right-of-way and a sidewalk on one side of the street.
2. The single-family residential development shall provide a street stub along the west side of the development to accommodate a future street connection to Hartman Lane.
3. The development shall include a secondary access to Hartman Lane, which shall consist of a private drive aisle, minimum 22' in width, on the five acres reserved for the church, which shall be constructed as part of the first phase of the development.
4. The church shall comply with the Planned Use Ordinance and be required to submit a preliminary development plan for approval showing their proposed site plan prior to any city approvals of the church.

Respectfully Submitted,

Residential Zoning and Subdivision Review Committees

Attachments

- Attachment 1 – Applicant Narrative
- Attachment 2 – Site Plan, Grading Plan, Utility Plan and Landscape Plan
- Attachment 3 – Zoning Map
- Attachment 4 – Central School Letter and Resolution

RECEIVED FEB 18 2005

**STONEBRIDGE
A MASTER PLANNED DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN NARRATIVE**

DENSITY

The proposed Stonebridge Development consists of approximately 66.88 acres of agricultural land along Hartman Lane in O'Fallon, Illinois. The enclosed master planned development indicates three distinct uses. There are the Stonebridge Villas which include 31 (4 unit) residential buildings, one 2 unit residential building, and clubhouse with pool for a total of 126 dwelling units. There are the Stonebridge Estates which are 62 single family residential lots with a minimum of 10,000 square feet. The third use is the 5.40 acre site for the proposed Stonebridge Community Church.

The proposed villa units range in size from 1321 sq ft to 1985 sq ft and each has a 2 car garage. The construction of these villa homes includes wood frame construction, architectural shingles, brick and siding. Pictures of a similar development have been previously submitted. The proposed clubhouse will match the exterior of the houses. The site will include substantial landscaping around the clubhouse and pool and throughout the development. The proposed entrance sign will be a monument similar to pictures previously submitted.

The proposed estate lots will consist of single family homes ranging in size from 1800 sq ft to 2400 sq ft. The construction of these homes will be wood frame construction, architectural shingles, brick and siding.

The proposed community church will be a 20,000 square foot facility with parking lot. The construction of the church will match the construction of the villas and the estate lots.

OPEN SPACE

Approximately 13.74 acres of the project site is located within the floodplain. This area will not be impacted by the development and will become a prairie grass restoration area. The villas have approximately 4.13 acres of open space or park space. The total green space provided by this development is almost 18 acres which is approximately 27% of the project site reserved for open space. Per the proposed code requirements the required park space for this development is approximately 2.48 acres. This is based on 126 units at 1.97 persons per unit and 62 units at 2.83 persons for a total of 423.68 persons. At 6 acres per 1000 persons this development would require 2.54 acres. The proposed development exceeds this requirement.

TOPOGRAPHY

The existing topography is shown on the preliminary development plan submitted for review and approval by the City of O'Fallon. The site topography shows an existing drainage pattern from west to east to a tributary to Richland Creek. The proposed grading will generally match the existing topography.

ACCESS

The development will include public streets within 40', 50' and 60' wide right-of-ways as shown on the plans. Sidewalks have been incorporated into the site plan on one side of the street within the villa development and on both sides of the street within the estates section. The proposed

street widths within the development is 30' from back of curb to back of curb. The pavement will be asphalt or concrete. The proposed preliminary master plan shows a secondary entrance from Hartman Lane at the north end of the property that will serve as emergency access into the development and as a secondary access to the Church parking lot. A revised traffic study will be completed for the master planned development and the entrances will be designed and construction per the recommendations of the traffic study.

UTILITIES AND INFRASTRUCTURE

Storm sewers will be designed to carry storm water flows from the roadways to the detention facilities. Stormwater detention will be designed for the project and will be handled within the three proposed ponds shown on the development plan. Field tiles encountered during construction will be connected to the proposed storm sewers and pipe to the nearest detention facility.

Sanitary sewer service will be provided by Caseyville Township through the 15" Central Park Plaza trunk line. The capacity of the existing sanitary sewer trunk line will accommodate the flows from the proposed development.

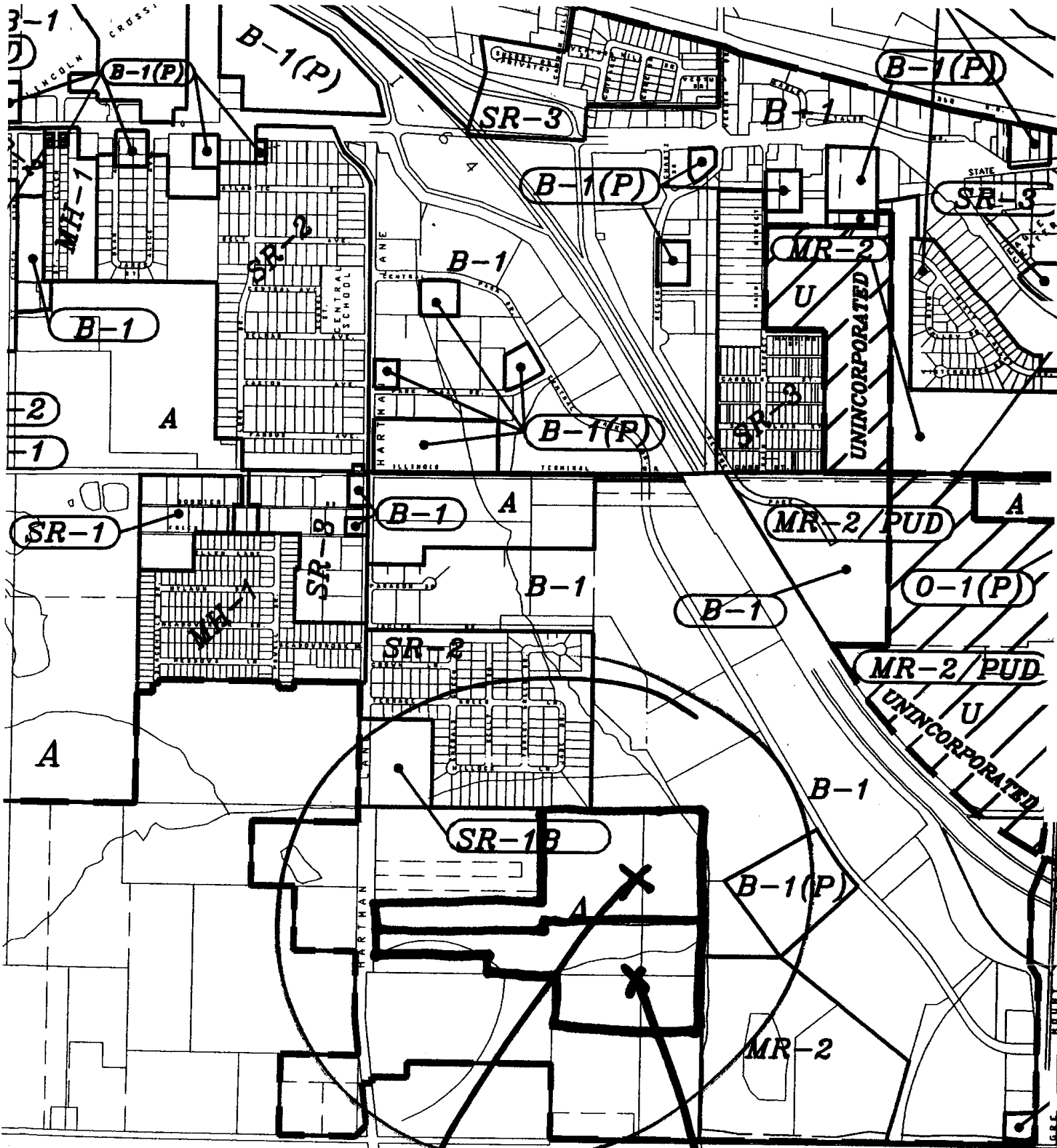
The existing waterline is along Hartman Lane and watermain extensions will be included throughout the site to serve the buildings and to provide adequate fire protection.

Both electric and gas services are available to the site and owned by Ameren IP. Telephone service is available through SBC and cable is available through Charter.

SUMMARY

The development will be designed in accordance with the City of O'Fallon and the St. Clair County requirements.

Stone Bridge Villas LLC and MCC Enterprises at Illinois Inc., the developers are requesting Planning Commission and City Council approval of the submitted preliminary master planned development application.



BOOK 4199 PAGE 1843

03-36-300-023

03-36-300-024

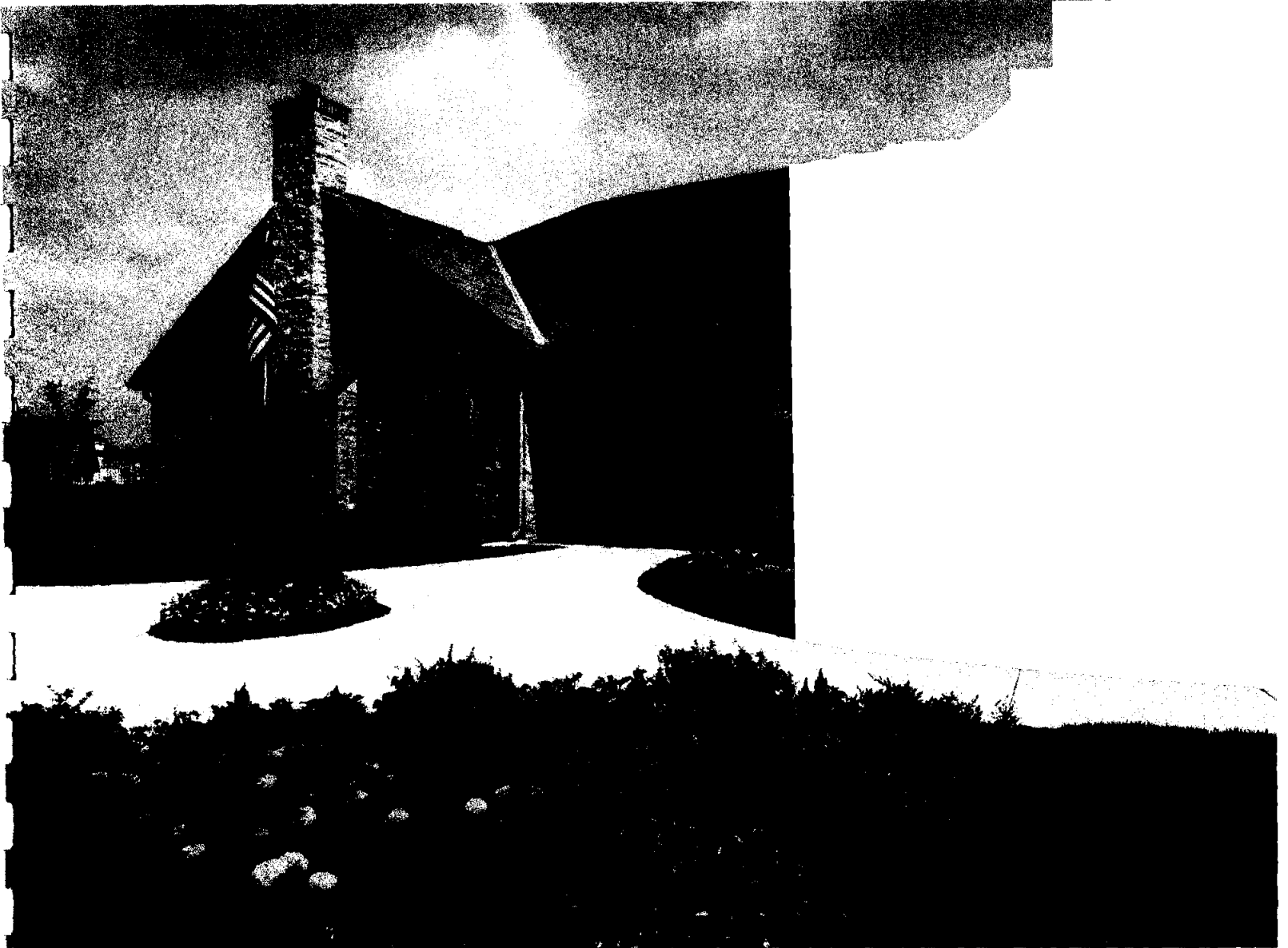
BOOK 4199 PAGE 1844



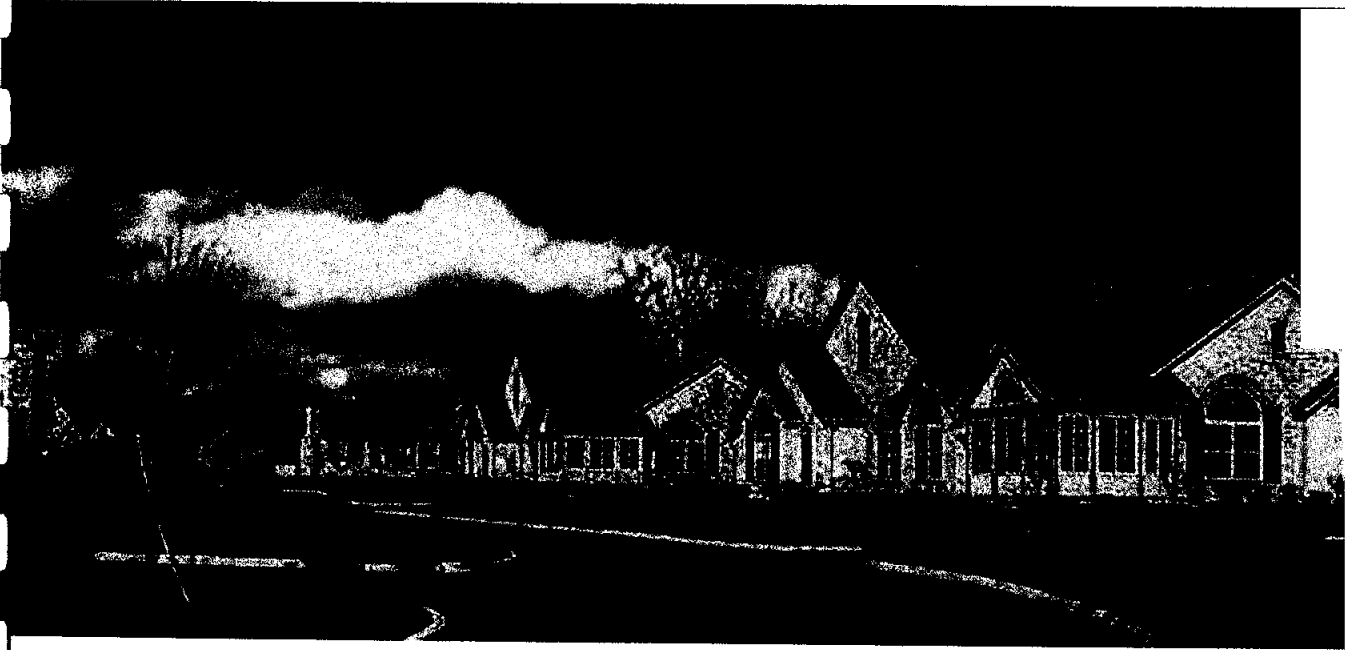
BOOK 4199 PAGE 1844



BOOK 4199 PAGE 1845



BOOK 4199 PAGE 1846



BOOK 4199 PAGE 1847



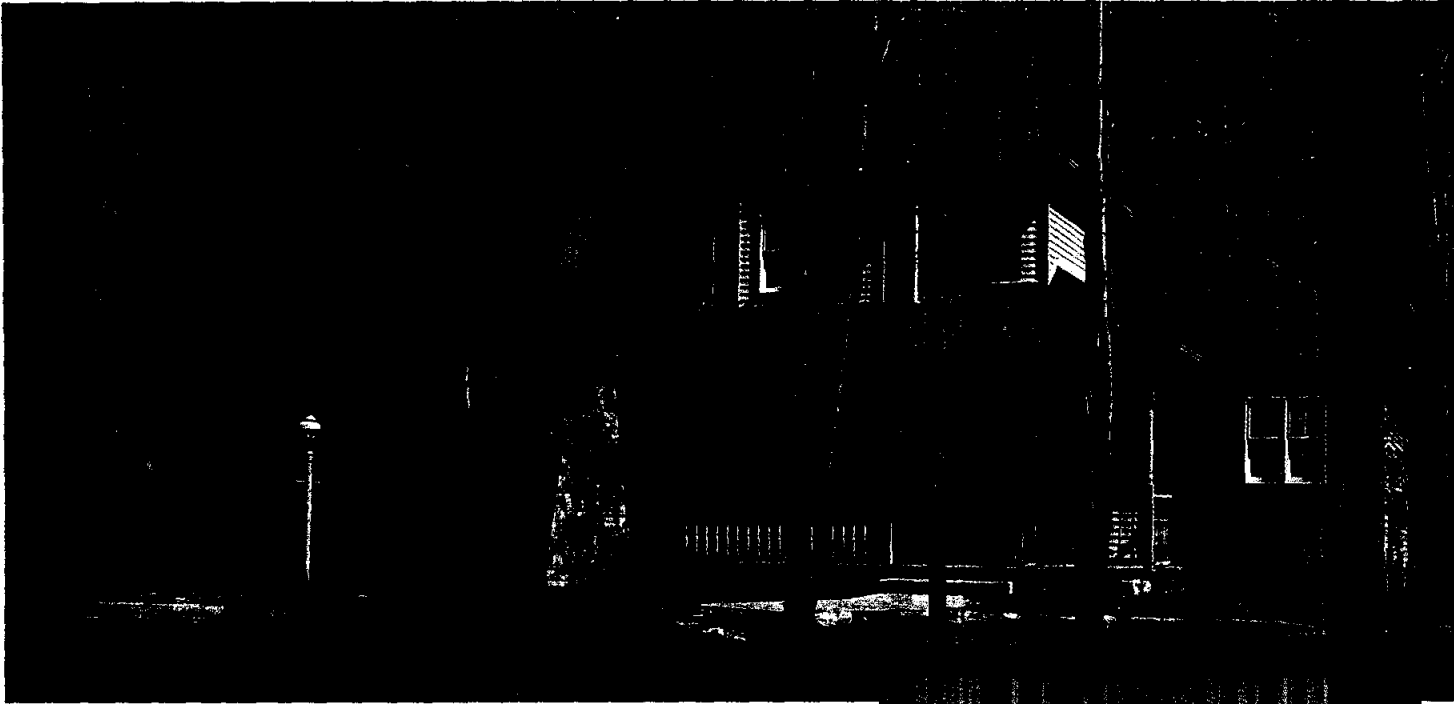


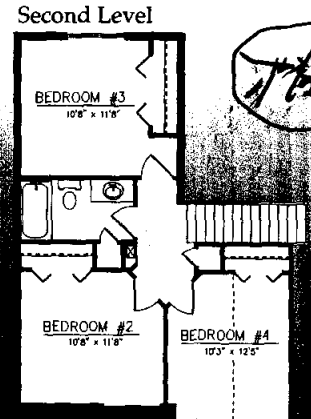
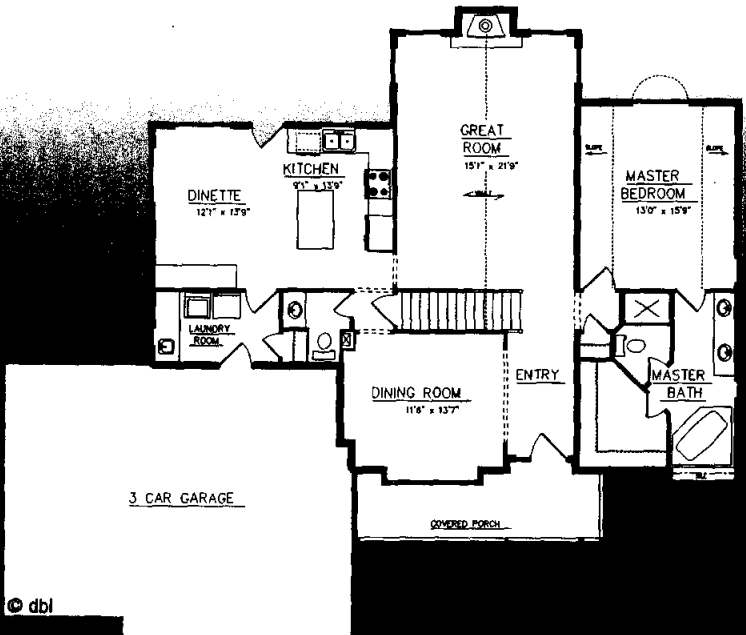
photo courtesy of Design Basics, Inc.

Laramie



The Laramie's two story entry offers lovely views of the formal dining room with its boxed window and recessed hutch space and of the great room with its fireplace framed by transom-

topped windows. An arched window and a sloped ceiling enhance the master bedroom, and a skylight brings a pleasing touch to the master bath.



Handwritten initials: JAS

© dbi



Laramie Plan No. 2285-44UBC

*House plans proposed for Stonebridge Villas, single-family detached.
- Received 5/27/05*

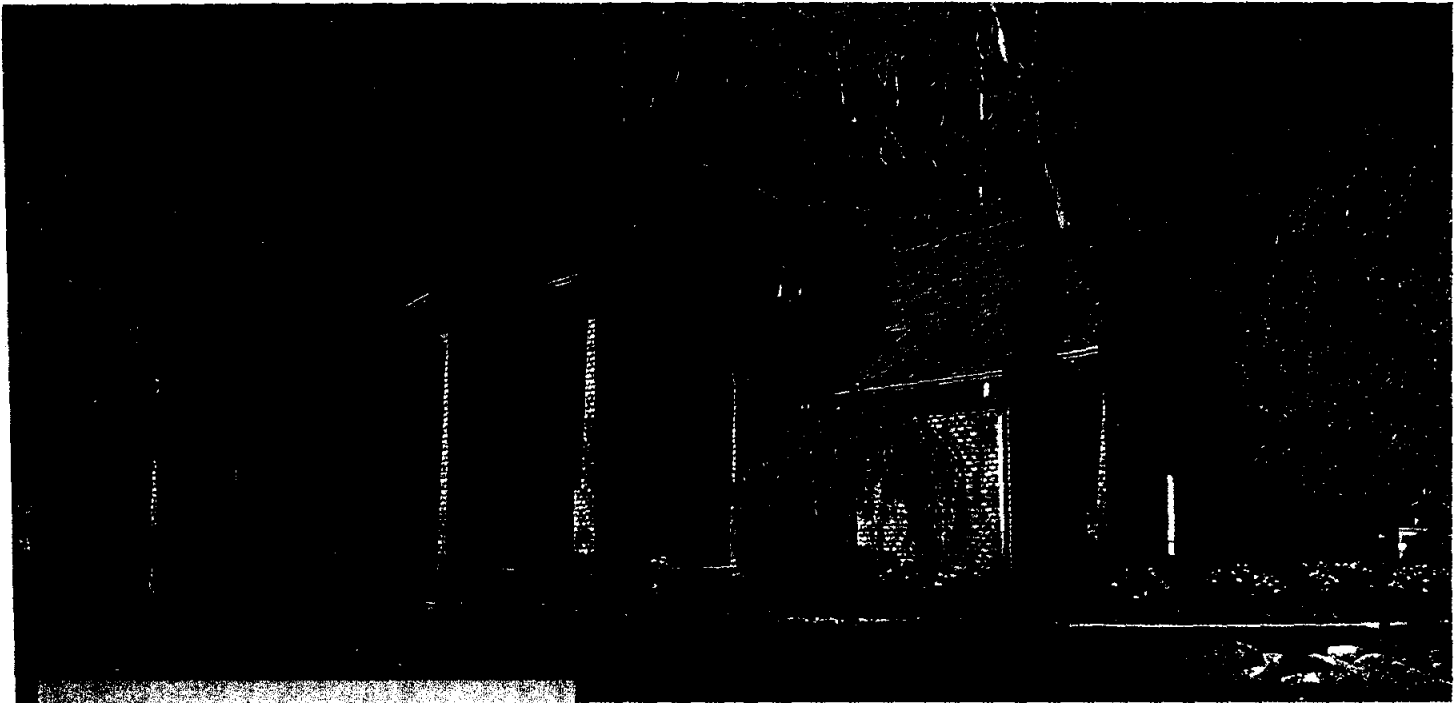


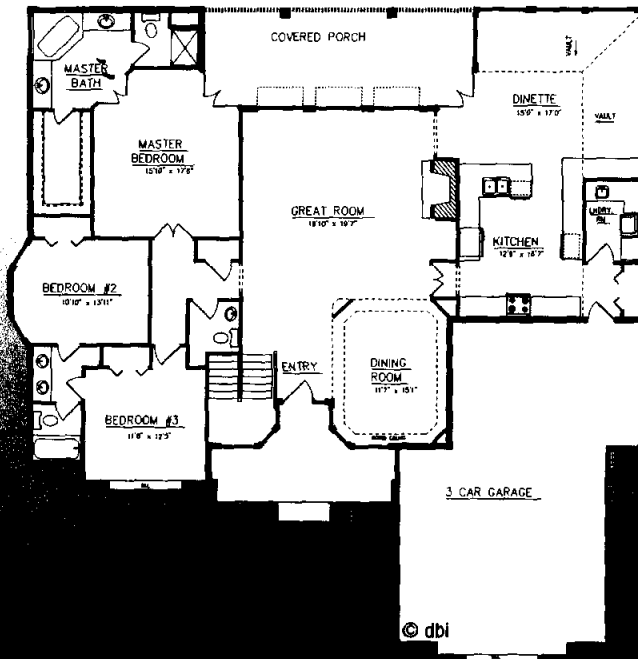
photo courtesy of Design Basics, Inc.

Lakeville



Tall ceilings and bountiful windows give the Lakeville an airy, spacious sense. Entertaining will come naturally with a covered porch, complete with skylights, and a large gathering room with a

built-in entertainment center, snack bar, and planning desk. Other welcome amenities include a wet bar in the great room and two pantries in the kitchen.



TAS

Lakeville Plan No. 2778-44UBC





photo courtesy of Design Basics, Inc.

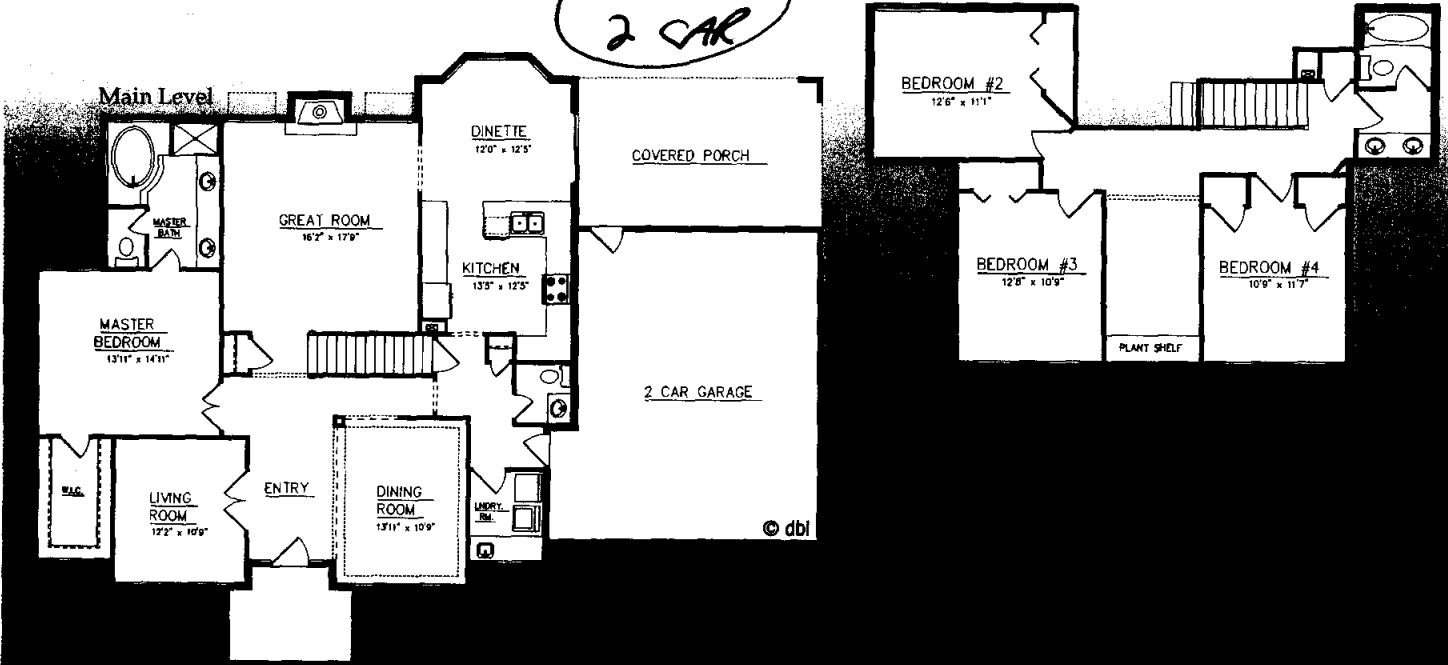
Hamilton

The Hamilton offers a formal dining room that is defined by ceiling treatments and flooring materials. The kitchen features a wrap-around counter with lazy

susan, large pantry, and a handy built-in desk. Double doors open to a majestic master bedroom and luxurious bath.



*7415
2 CAR*



Hamilton Plan No. 2702-44UBC



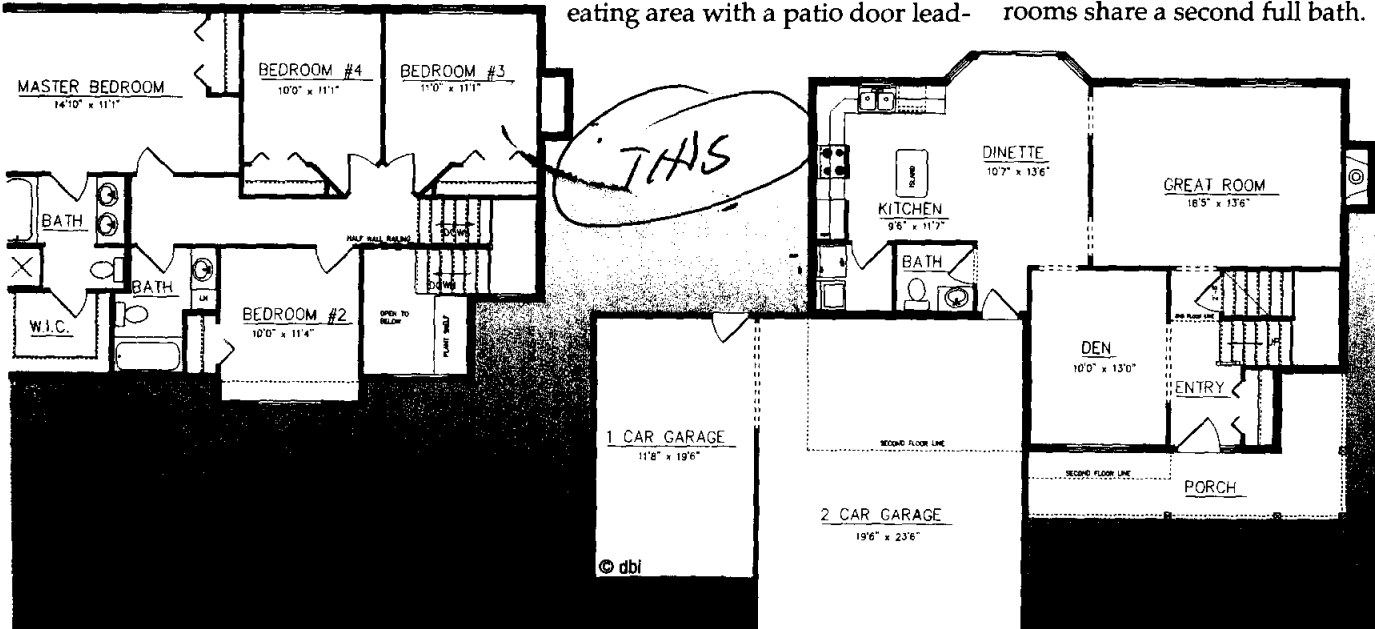
photo courtesy of Design Basics, Inc.

Sheboygan



A wrap-around porch sets a welcoming tone. The front foyer views a den and a U-shaped staircase. Beyond the entry, windows and a fireplace bring style to the great room. Two cased openings link the great room to a bayed eating area with a patio door lead-

ing to the backyard. A center island provides extra workspace in the kitchen. On the second floor, an over-sized master bedroom features two closets, a tub, double vanity and shower. Three secondary bedrooms share a second full bath.



Sheboygan Plan No. 1752-44UBC



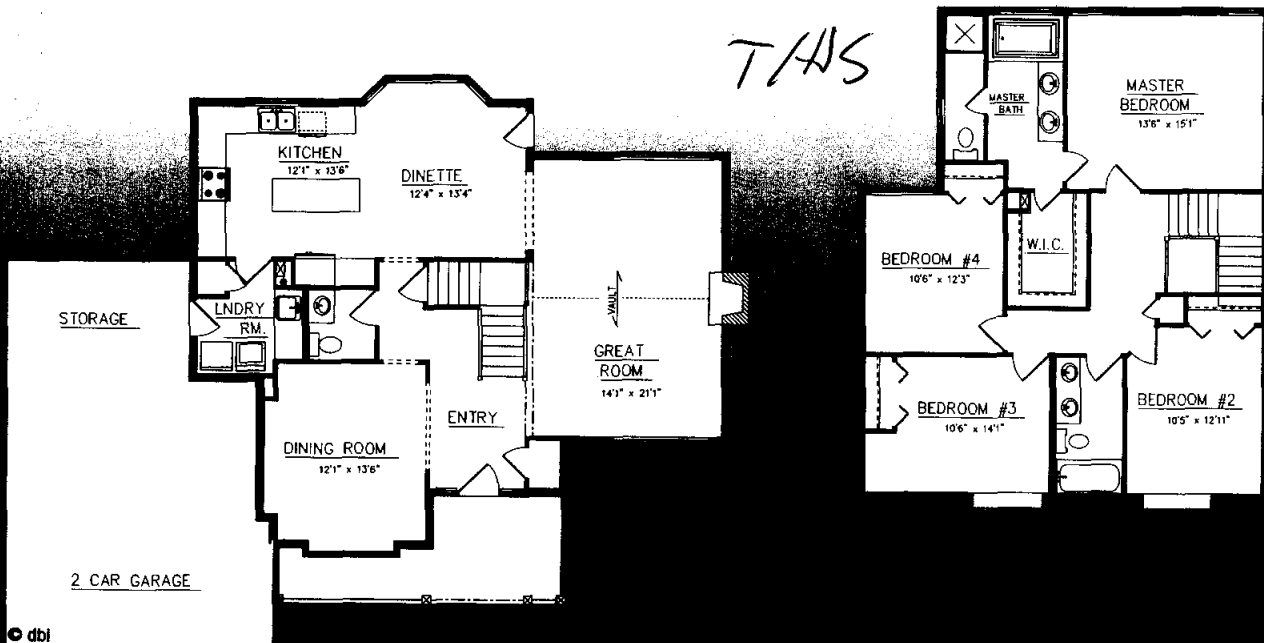


Spirit Lake

photo courtesy of Design Basics, Inc.

A vaulted ceiling and large windows give the Spirit Lake's great room a unique look. The dining room enjoys a boxed window along with a special hutch

space. A laundry room with a coat closet and a soaking sink serves as a mud entry from the garage, which features an extra space for storage or a work area.



© dbi



Spirit Lake Plan No. 1019-44UBC



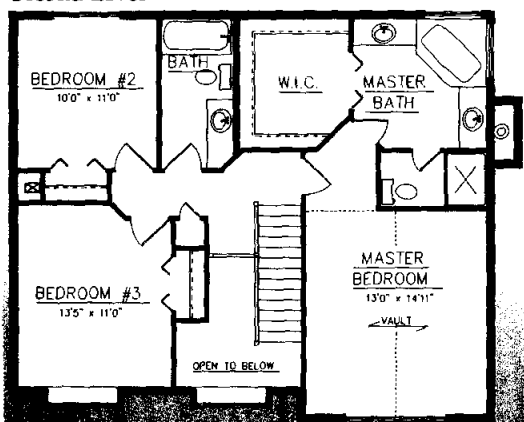
Photo courtesy of Deben Design, Inc.



New Richmond

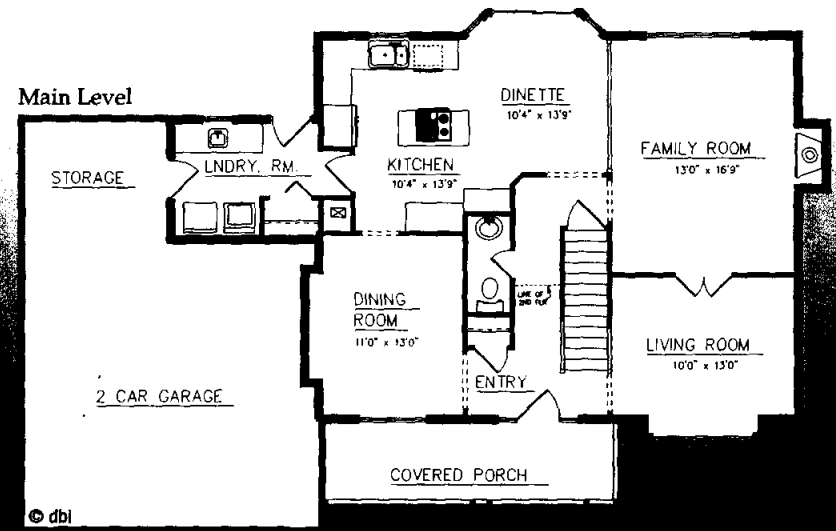
The New Richmond has a distinctive design personality that is complemented by a large covered porch with a wood railing. The living room is accented by the warmth of a boxed window and French doors leading to a cozy family room. The large laundry room provides practical access from the garage, kitchen, or outdoors.

Second Level



THIS

Main Level



New Richmond Plan No. 2619-44UBC





photo courtesy of Design Basics, Inc.

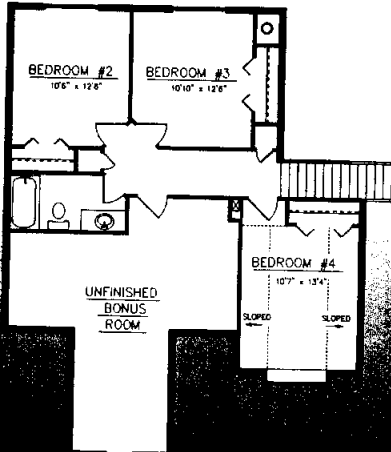
Chamberlain



The Chamberlain's two sided fireplace spreads a cozy sense throughout the great room and breakfast area. A trayed ceiling and a triple window create a stylish master bedroom. The

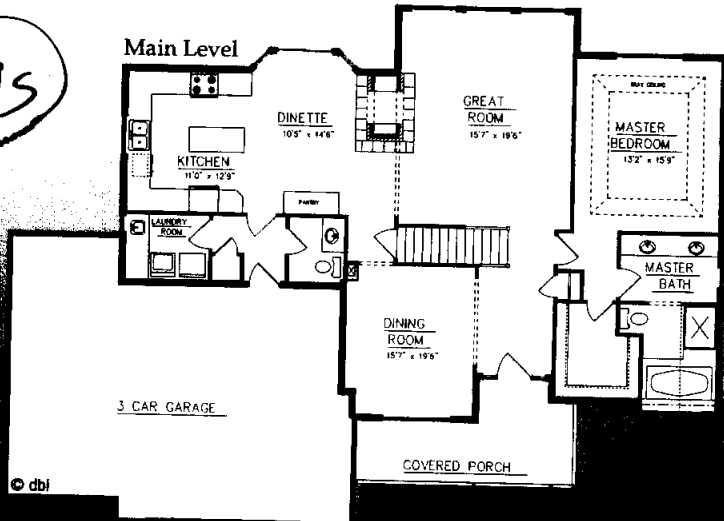
master bath includes a window seat, his-and-hers vanities and a sunlit whirlpool. On the second level, an unfinished bonus room is available for storage or expansion.

Second Level



THIS

Main Level



Chamberlain Plan No. 3249-44UBC





photo courtesy of Design Basics, Inc.

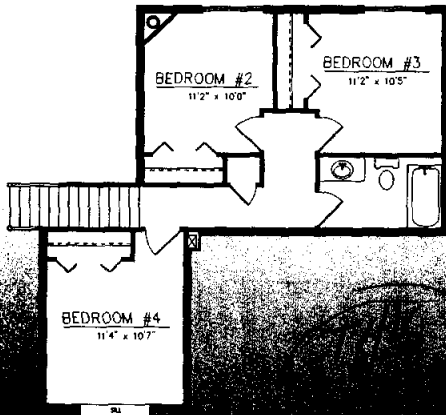
Manchester

A striking great room sets the Manchester apart: a ceiling that soars, stacked windows and a see-thru fireplace. Beside it, the bayed breakfast area is bright and cozy with a roomy snack bar and

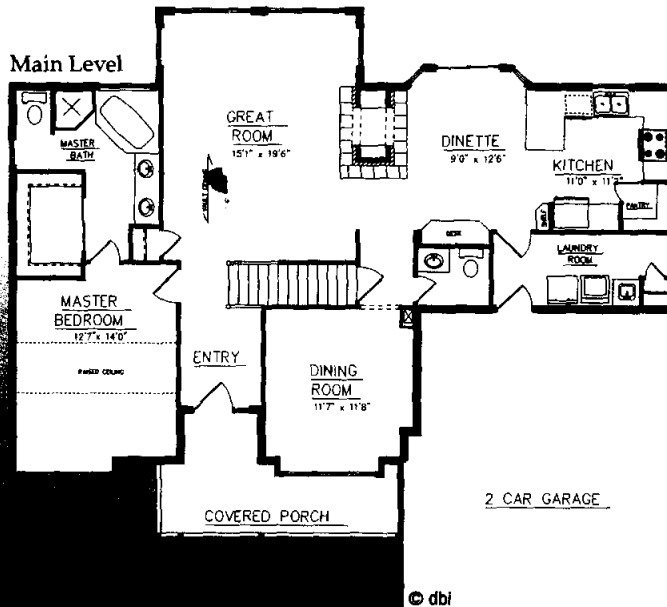
planning desk. On the other side of the home, a tall sloped ceiling and a boxed window add drama in the master bedroom, which is served by a spacious bath with corner whirlpool.



Second Level



Main Level



Manchester Plan No. 1380-44UBC



STONE BRIDGE VILLAS

Stone Bridge Villas has placed under contract a 33 acre tract of ground fronting on the east side of Hartman Lane just north of Frank Scott Parkway in O'Fallon, Illinois. Stone Bridge Villas plans to construct 2 and 3 bedroom garden villa homes which will be primarily marketed to "empty nesters" (both retirees and pre-retirees) and to rising young executives and single and single again homebuyers who are looking for a more carefree lifestyle. These homes will come in four basic styles and will contain between 1325 and 1926 square feet of living space and will sell at a price of \$170,000 to \$215,000. Stone Bridge Villas is an Epcon franchisee and the villas to be constructed on the property have been constructed all across the country and have been very successful toward this particular market niche. This type of product is new to the area and our market studies indicate that these villas should be very popular among the residents of O'Fallon, Illinois.

One of the key aspects of the Stone Bridge community will be the extensive landscaping that will be located throughout the project. There will be numerous landscaped areas with colorful flowerbeds and borders along each building. There will also be several prominent water features and a stone bridge at the entrance. The Residence Association will perform all of the exterior maintenance, snow removal, lawn care and landscaping tasks. A large clubhouse will be centrally located within the Stone Bridge community that will offer residents a large lounge area for social activities, a swimming pool and a fully equipped fitness center. The streets located throughout the Stone Bridge community will be private streets that will be maintained by the Residence Association that will levy monthly assessments for the maintenance of the clubhouse, private streets and common landscaped areas. The Residence Association will maintain appropriate reserves to deal with anticipated and unanticipated expenses that may arise with regard to the streets, clubhouse and other common areas.

The buildings will be constructed in such a way so that each villa enters on its own side of the building, so that architecturally, each villa will look like a large single family home as you approach the main entrance of each villa. An oversized two-car attached garage will serve each villa. The garages are designed so that the garage doors will not generally be visible from the street. Each garage will be extra deep to provide an additional storage area. All garages will be dry walled and painted on the inside. Most of the villas will be constructed so as to have cathedral ceilings, however some of the units will have flat, 9 foot high, ceilings, depending upon the style of villa that the homeowner selects. The bathrooms and kitchens will have "custom home" features that have been carefully selected to create a high quality appearance and to minimize future maintenance.

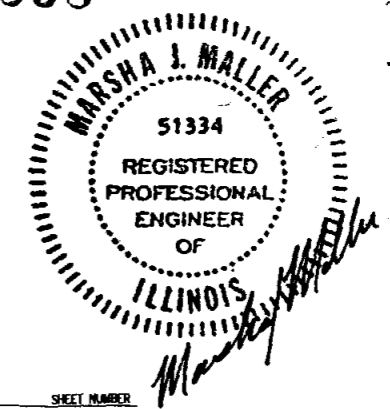
Stone Bridge Villas intends to hire 2 full-time sales agents who will sell the villas from an office area to be located within the clubhouse. It is our hope to commence sales activities in May, 2005 and to start construction of the clubhouse and the display units shortly thereafter. We feel confident that the City of O'Fallon will be very pleased with these villas and that these villas will constitute a nice addition to the City.

LEGAL DESCRIPTION

STONE BRIDGE MASTER PLANNED DEVELOPMENT

BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 7 WEST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF OTTALON, ST. CLAIR COUNTY, ILLINOIS

LAND SURVEYOR/ENGINEER: THOUVENOT, WADE & MOERCHEN, INC. 4840 OLD COLLINGSVILLE ROAD SWANSEA, ILLINOIS 62226
 OWNER/SUBDIVIDER: STONEBRIDGE VILLAS, LLC. 530 HANVILLE CENTRE DR., SUITE 220 ST. LOUIS, MISSOURI 63141



THOUVENOT, WADE & MOERCHEN, INC.
 ENGINEERS • SURVEYORS • PLANNERS

51334 REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
 CORPORATE OFFICE: 4840 OLD COLLINGSVILLE RD. SWANSEA, ILLINOIS 62226
 WATERLOO OFFICE: 1118 EAST THIRD STREET, WATERLOO, ILLINOIS 62298
 ST. LOUIS OFFICE: 1001 CRANG ROAD, SUITE 200, ST. LOUIS, MISSOURI 63148

TRACT 1
 PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF ST. CLAIR, STATE OF ILLINOIS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 36; THENCE ON AN ASSUMED BEARING OF NORTH 00 DEGREES 05 MINUTES 56 SECONDS EAST, ON THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1748.32 FEET TO THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING; THENCE NORTH 89 DEGREES 55 MINUTES 37 SECONDS WEST, ON A NORTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 1327.99 FEET TO A WESTERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE SOUTH 00 DEGREES 05 MINUTES 07 SECONDS WEST, ON SAID WESTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 50.38 FEET TO A NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE NORTH 89 DEGREES 55 MINUTES 37 SECONDS WEST, ON SAID NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 1262.20 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY 16 (A.K.A. HARRIMAN LANE); THENCE NORTH 00 DEGREES 05 MINUTES 07 SECONDS WEST, ON SAID EASTERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY 16, A DISTANCE OF 203.21 FEET TO THE SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 2581 ON PAGE 983; THENCE SOUTH 89 DEGREES 57 MINUTES 20 SECONDS EAST, ON SAID SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 2581 ON PAGE 983 AND THE EASTERLY EXTENSION THEREOF, A DISTANCE OF 1262.51 FEET TO A WESTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3018 ON PAGE 1013; THENCE NORTH 00 DEGREES 05 MINUTES 07 SECONDS EAST, ON SAID WESTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3018 ON PAGE 1013, A DISTANCE OF 753.64 FEET TO THE NORTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 36; THENCE SOUTH 89 DEGREES 50 MINUTES 45 SECONDS EAST, ON SAID NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 1528.24 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 36; THENCE SOUTH 00 DEGREES 05 MINUTES 56 SECONDS WEST, ON SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 897.48 FEET TO THE POINT OF BEGINNING.

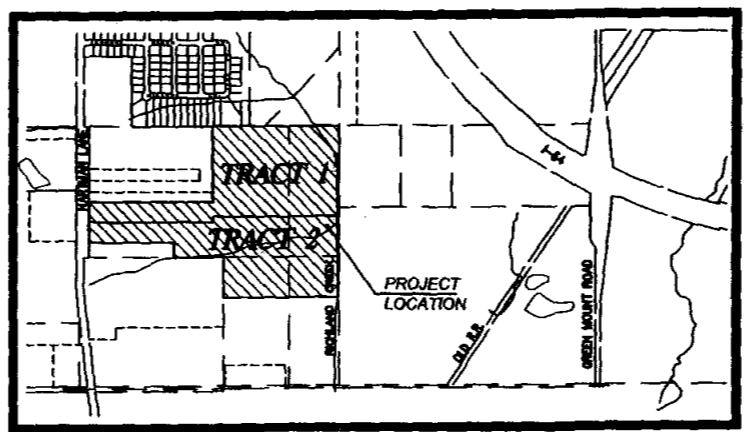
SAID PARCEL CONTAINS 33.41 ACRES, MORE OR LESS.
 SUBJECT TO EASEMENTS, CONDITIONS AND RESTRICTIONS OF RECORD.

TRACT 2
 PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF ST. CLAIR, STATE OF ILLINOIS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 36; THENCE ON AN ASSUMED BEARING OF NORTH 00 DEGREES 05 MINUTES 56 SECONDS EAST, ON THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1748.32 FEET TO THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 05 MINUTES 56 SECONDS WEST, ON SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 861.67 FEET TO THE NORTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3471 ON PAGE 947; THENCE NORTH 89 DEGREES 23 MINUTES 03 SECONDS WEST, ON SAID NORTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3471 ON PAGE 947, A DISTANCE OF 1327.39 FEET TO THE EASTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 2587 ON PAGE 526; THENCE NORTH 00 DEGREES 04 MINUTES 29 SECONDS EAST, ON SAID EASTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 2587 ON PAGE 526, A DISTANCE OF 454.26 FEET TO THE NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 2587 ON PAGE 526; THENCE NORTH 89 DEGREES 18 MINUTES 47 SECONDS WEST, ON SAID NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 2587 ON PAGE 526, A DISTANCE OF 401.31 FEET TO THE EASTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 4030 ON PAGE 578; THENCE NORTH 00 DEGREES 04 MINUTES 40 SECONDS EAST, ON SAID EASTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 4030 ON PAGE 578, A DISTANCE OF 156.48 FEET TO A SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE NORTH 89 DEGREES 55 MINUTES 37 SECONDS WEST, ON SAID SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 860.40 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY 16 (A.K.A. HARRIMAN LANE); THENCE NORTH 00 DEGREES 05 MINUTES 04 SECONDS WEST, ON SAID EASTERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY 16, A DISTANCE OF 203.67 FEET TO A NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE SOUTH 89 DEGREES 55 MINUTES 37 SECONDS EAST, ON SAID NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 1262.20 FEET TO A WESTERLY LINE OF SAID TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE NORTH 00 DEGREES 05 MINUTES 07 SECONDS EAST, ON SAID WESTERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; A DISTANCE OF 50.38 FEET TO A NORTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728; THENCE SOUTH 89 DEGREES 55 MINUTES 37 SECONDS WEST, ON SAID NORTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DEED BOOK 3956 ON PAGE 1728, A DISTANCE OF 1327.99 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 33.44 ACRES, MORE OR LESS.
 SUBJECT TO EASEMENTS, CONDITIONS AND RESTRICTIONS OF RECORD.



VICINITY MAP
 NOT TO SCALE

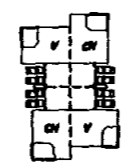
INDEX

SHEET NAME	SHEET NUMBER
COVER SHEET	1
SITE PLAN	2
GRADING PLAN	3
UTILITY PLAN	4
LANDSCAPE PLAN	5

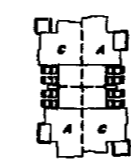
- LEGEND
- 25' BUILDING SETBACK LINE UNLESS OTHERWISE NOTED
 - - - EASEMENT LINE
 - FOUND IRON PIPE/PI
 - FOUND CONC. MONUMENT
 - CONC. MONUMENT SET
 - IRON PIPE SET

SITE DATA/SUMMARY TABLE

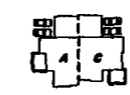
GROSS SITE AREA	66.85 AC.
R/W AREA	8.19 AC.
NET AREA	58.66 AC.
NUMBER OF BUILDINGS	96
1 CLUBHOUSE W/ POOL	(1) CLUBHOUSE
24 (4) UNIT ABBEY/CANTERBURY	(96) UNITS
7 (2) UNIT ABBEY/CANTERBURY	(14) UNITS
SINGLE FAMILY LOTS	(63) LOTS/UNITS
TOTAL UNITS	173 UNITS
24 ABBEY/CANTERBURY @ 8730.63 SQ FT	209,727.12 SQ FT
7 ABBEY/CANTERBURY @ 4168.63 SQ FT	29,180.41 SQ FT
CLUBHOUSE W/ POOL	5,362 SQ FT
25% MAX. LOT COVERAGE FOR 10,000 SQ FT CHURCH	63(0.25)10,000 = 157,500 SQ FT
TOTAL BUILDING SQ FT	20,000 SQ FT
GROSS DENSITY	421,769.53 SQ FT = 9.68 ACRES
NET DENSITY	2.59 D.U.A.
PROPOSED GROSS FLOOR AREA	2.95 D.U.A.
PERCENTAGE OF LOT COVERAGE	9.68 ACRES / 58.66 ACRES = 16.5%
EXISTING ZONING	A
PROPOSED ZONING	MR-1 & SR1-B
TOTAL OPEN SPACE & FLOODPLAIN	20.14± AC.



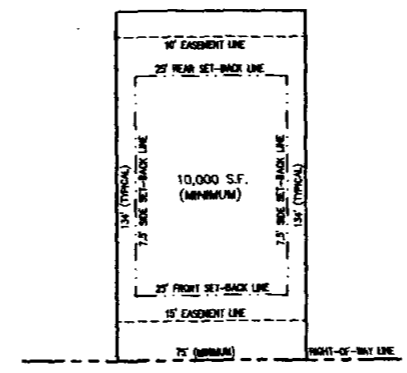
(Chateau - 2 Car Garage)
 (Villa - 2 Car Garage)
 Building Height = 22'
 Chateau - 1985 s.f. - Living space
 Villa - 1321 s.f. - Living space
 Abbey - 1715 s.f. - Living space
 Canterbury - 1856 s.f. - Living space



(Abbey - 2 Car Garage)
 (Canterbury - 2 Car Garage)
 Building Height = 25'



2 Unit Building
 (Abbey - 2 Car Garage)
 (Canterbury - 2 Car Garage)



TYPICAL SINGLE FAMILY LOT

BUILDING TYPES

No Scale
 NOTE: Each building shall be composed of a mix of the following unit types: Villa (V), Chateau (CH), Abbey (A) or Canterbury (C). Units mix is subject to change based on demand.

All Units Have 2 Car Garages
 Maximum Building Height=25'

CITY COUNCIL APPROVAL:

THE PRELIMINARY SITE PLAN FOR THE STONEBRIDGE MASTER PLANNED DEVELOPMENT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF OTTALON, ILLINOIS, ON THE _____ DAY OF _____, 2005.

MAYOR _____ DATE _____

ATTEST: _____

CITY CLERK _____ DATE _____

- AMENITIES FOR HOMEOWNERS
- CLUBHOUSE
 - POOL
 - LAKE

PRELIMINARY
 NOT TO BE USED
 FOR CONSTRUCTION

COVER SHEET
 PLANNED UNIT DEVELOPMENT
 STONE BRIDGE MASTER
 PLANNED DEVELOPMENT
 CITY OF OTTALON
 ST. CLAIR COUNTY, ILLINOIS

REV	DATE	DESCRIPTION
1	11/10/05	ISSUED PROJECT SHEET
2	11/10/05	REVISED PER PLANNING DEPARTMENT COMMENTS
3	11/10/05	REVISED PER PLANNING DEPARTMENT COMMENTS

DESIGNED BY	RECA	SHEET
CHECKED BY		1
APPROVED BY		
PROJECT NUMBER	001040030	OF 3 SHEETS
DATE FOR REVIEW		DATE FOR BOOKING
DATE FOR EXPIRE		DATE FOR CLOSING
SHEET NUMBER	1	DATE FOR REVIEW

THOUVENOT, WADE & MOERCHEN, INC.
ENGINEERS • SURVEYORS • PLANNERS



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4940 OLD COLLINSVILLE RD.
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TEL (618) 839-5050
FAX (618) 839-3830
water@twm-inc.com

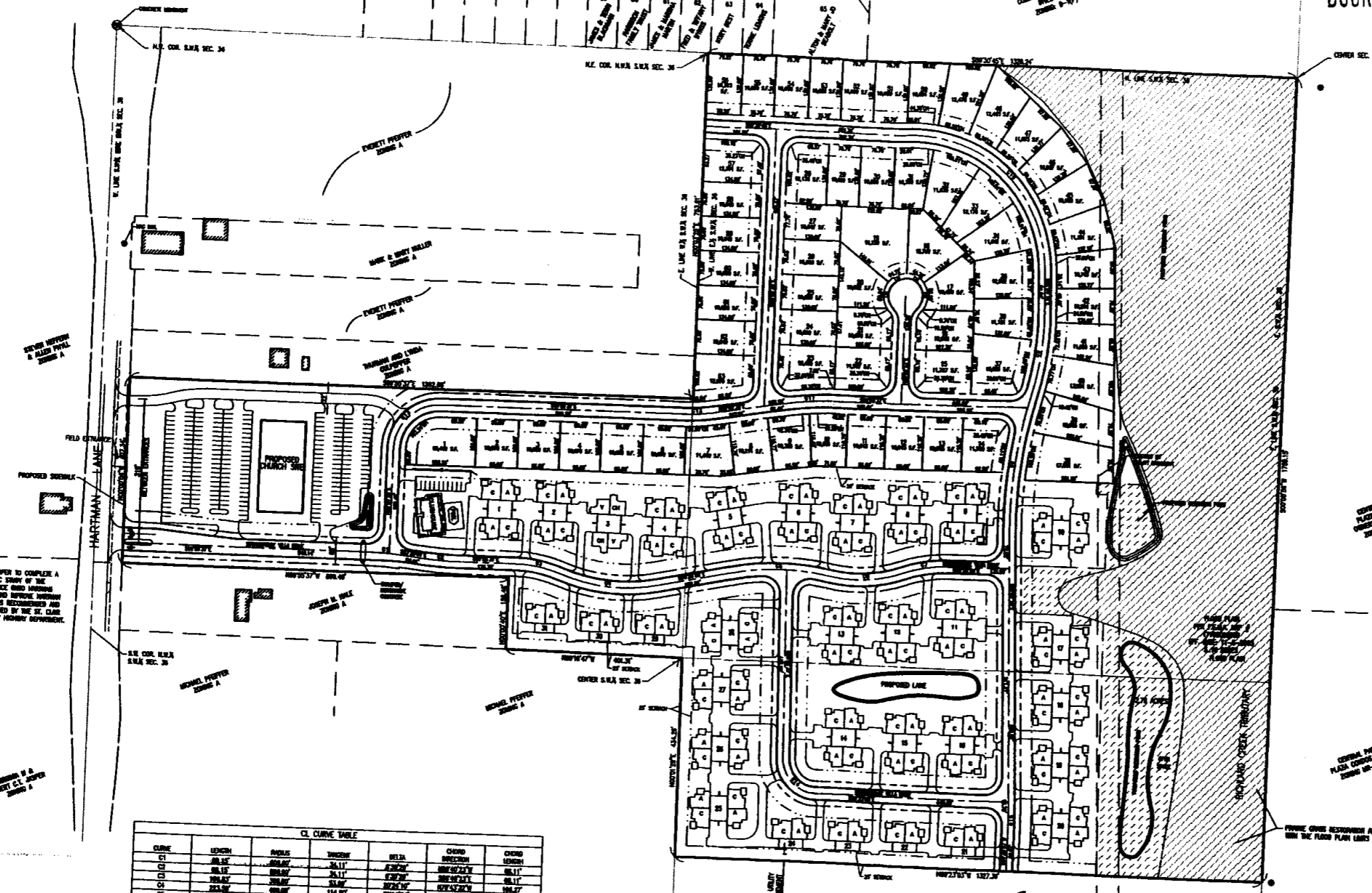
ST. LOUIS OFFICE
1001 CRAIG ROAD, SUITE 200
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FAX (314) 272-2184
stlou@twm-inc.com

PROFESSIONAL REGISTRATIONS

ILLINOIS PROFESSIONAL ENGINEER	100-000000
ILLINOIS PROFESSIONAL SURVEYOR	00-000000
MISSOURI PROFESSIONAL ENGINEER	00-000000
MISSOURI PROFESSIONAL SURVEYOR	00-000000

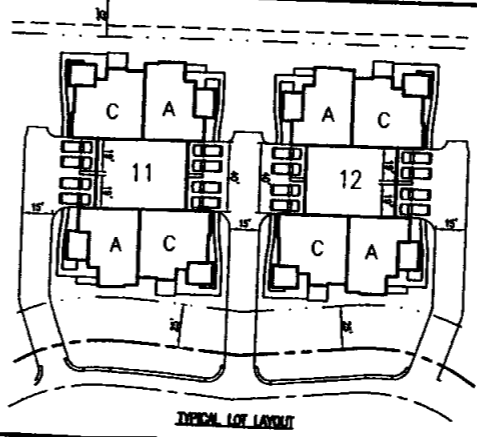
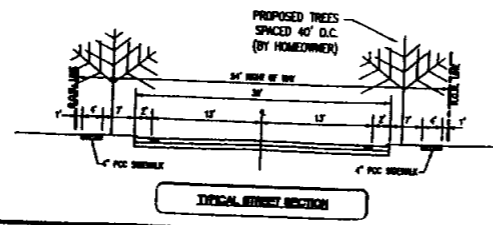
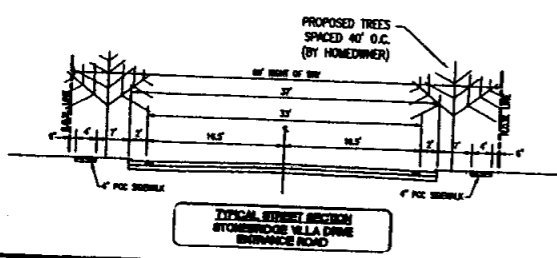
STATEMENT OF RESPONSIBILITY
I, the undersigned, being a duly licensed Professional Engineer, do hereby certify that I am the author of the design, specification, calculation, report or other work herein, or that I am a duly licensed Professional Engineer and that I am a duly licensed Professional Engineer and that I am a duly licensed Professional Engineer.

SITE PLAN
 PLANNED UNIT DEVELOPMENT
 STONE BRIDGE MASTER PLANNED DEVELOPMENT
 CITY OF OTTAWA
 ST. CLAIR COUNTY, ILLINOIS



CL CURVE TABLE

CURVE	LENGTH	ARC	CHORD	CHORD	CHORD	CHORD
			LENGTH	LENGTH	LENGTH	LENGTH
C1	88.35	208.07	24.11	17.82	100.00	88.11
C2	88.15	208.07	24.11	17.82	100.00	88.11
C3	228.82	208.07	24.11	17.82	100.00	88.11
C4	228.82	208.07	24.11	17.82	100.00	88.11
C5	228.82	208.07	24.11	17.82	100.00	88.11
C6	228.82	208.07	24.11	17.82	100.00	88.11
C7	228.82	208.07	24.11	17.82	100.00	88.11
C8	228.82	208.07	24.11	17.82	100.00	88.11
C9	228.82	208.07	24.11	17.82	100.00	88.11
C10	228.82	208.07	24.11	17.82	100.00	88.11
C11	228.82	208.07	24.11	17.82	100.00	88.11
C12	228.82	208.07	24.11	17.82	100.00	88.11
C13	228.82	208.07	24.11	17.82	100.00	88.11
C14	228.82	208.07	24.11	17.82	100.00	88.11
C15	228.82	208.07	24.11	17.82	100.00	88.11



LEGEND

- FLOOD PLAIN
- OPEN SPACE
- EXISTING BUILDING
- EXISTING ROAD
- PROPOSED DRIVEWAY
- PROPOSED DRAINAGE SERVICE LINE
- PROPOSED 4" WIRE SIDEWALK

REV	DATE	DESCRIPTION
1	5/17/05	OWNER PROJECT SHEET
2	5/17/05	REVISION FOR PLANNED REVIEW COMMISSION
3	5/17/05	REVISION FOR PLANNED REVIEW COMMISSION

DRAWN BY: []	REV: []	SHEET: []
CHECKED BY: []		2
APPROVED BY: []		
PROJECT NUMBER: 001040030	OF 5 SHEETS	
DATE FOR REVIEW: []	DATE FOR REVIEW: []	
DATE FOR CONSTRUCTION: []	DATE FOR CONSTRUCTION: []	
SHEET TITLE: SITE PLAN	DATE: 5/17/2005	TIME: 7:00 AM

PRELIMINARY LANDSCAPING SHOWN ON SHEET 5

THOUVENOT, WADE & MOERCHEN, INC.
ENGINEERS • SURVEYORS • PLANNERS



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stlou@twn-inc.com

PROFESSIONAL SERVICES	LABORERS
LAND SURVEYING, CIVIL ENG.	60-0000
PROFESSIONAL ENGINEERING	60-0000
PROFESSIONAL ARCHITECTURE	60-0000
LANDSCAPE ARCHITECTURE	60-0000
PLANNING	60-0000
CONSTRUCTION ADMINISTRATION	60-0000

STATEMENT OF RESPONSIBILITY
I hereby certify that the information shown on this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer, architect, or landscape architect in the State of Illinois, and that I am duly qualified to perform the services herein shown to be performed by me or by me and my firm.

**GRADING PLAN
PLANNED UNIT DEVELOPMENT**

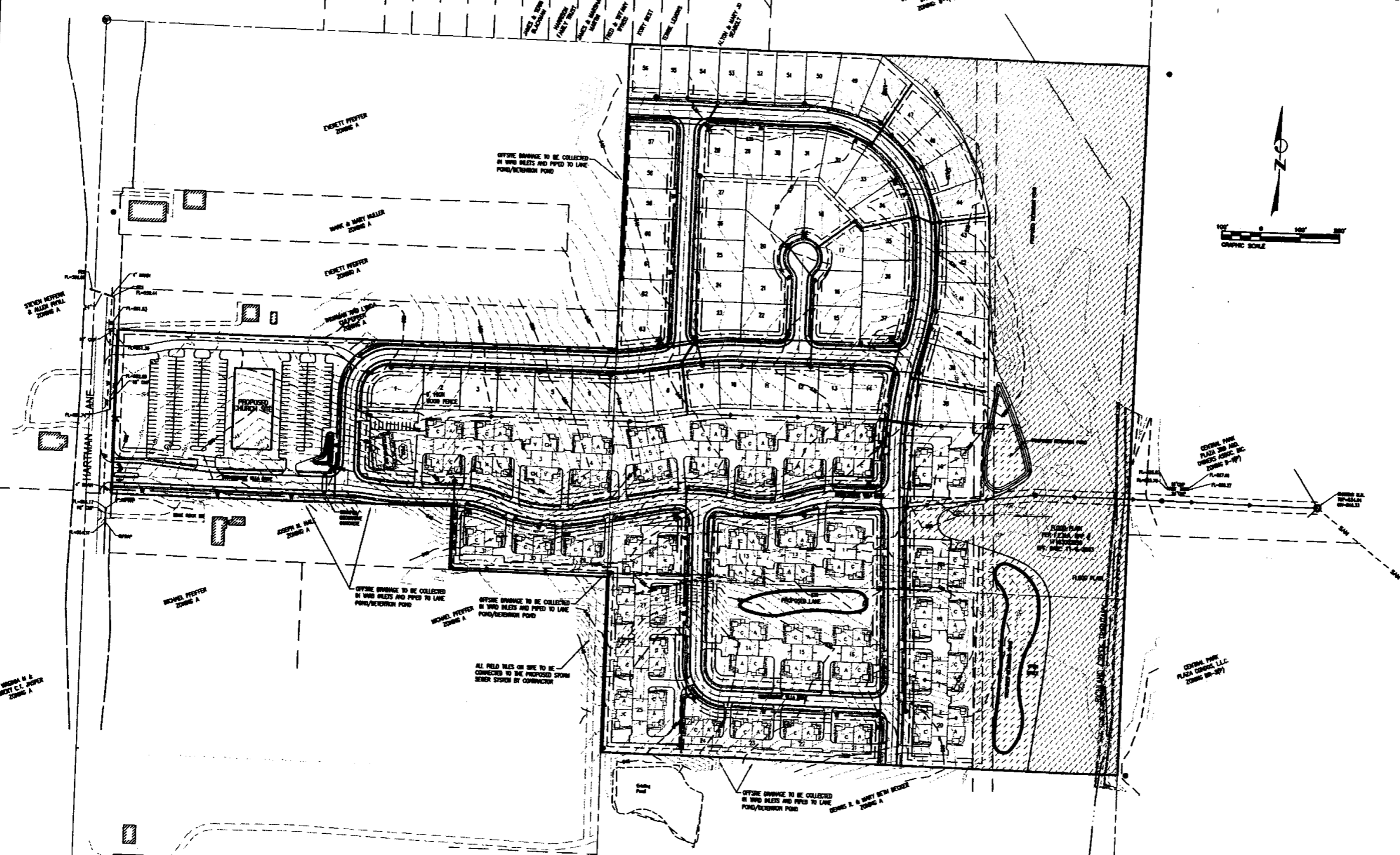
**STONE BRIDGE MASTER PLANNED DEVELOPMENT
CITY OF OPALTON
ST. CLAIR COUNTY, ILLINOIS**

REV.	DATE	DESCRIPTION
1	7/17/05	EXPANDED PROJECT SITE
2	7/21/05	REVISED FOR PLANNING PERCEP COMMISSION
3	7/21/05	REVISED PARKING LOT AND CIRCUMFERE LOCATIONS

DRAWN BY	REV.	SHEET
DESIGNED BY		
CHECKED BY		
APPROVED BY		

PROJECT NUMBER: 001040630 OF 3 SHEETS

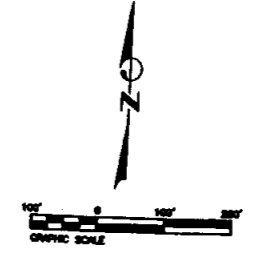
DATE: 5/24/2005 7:43am

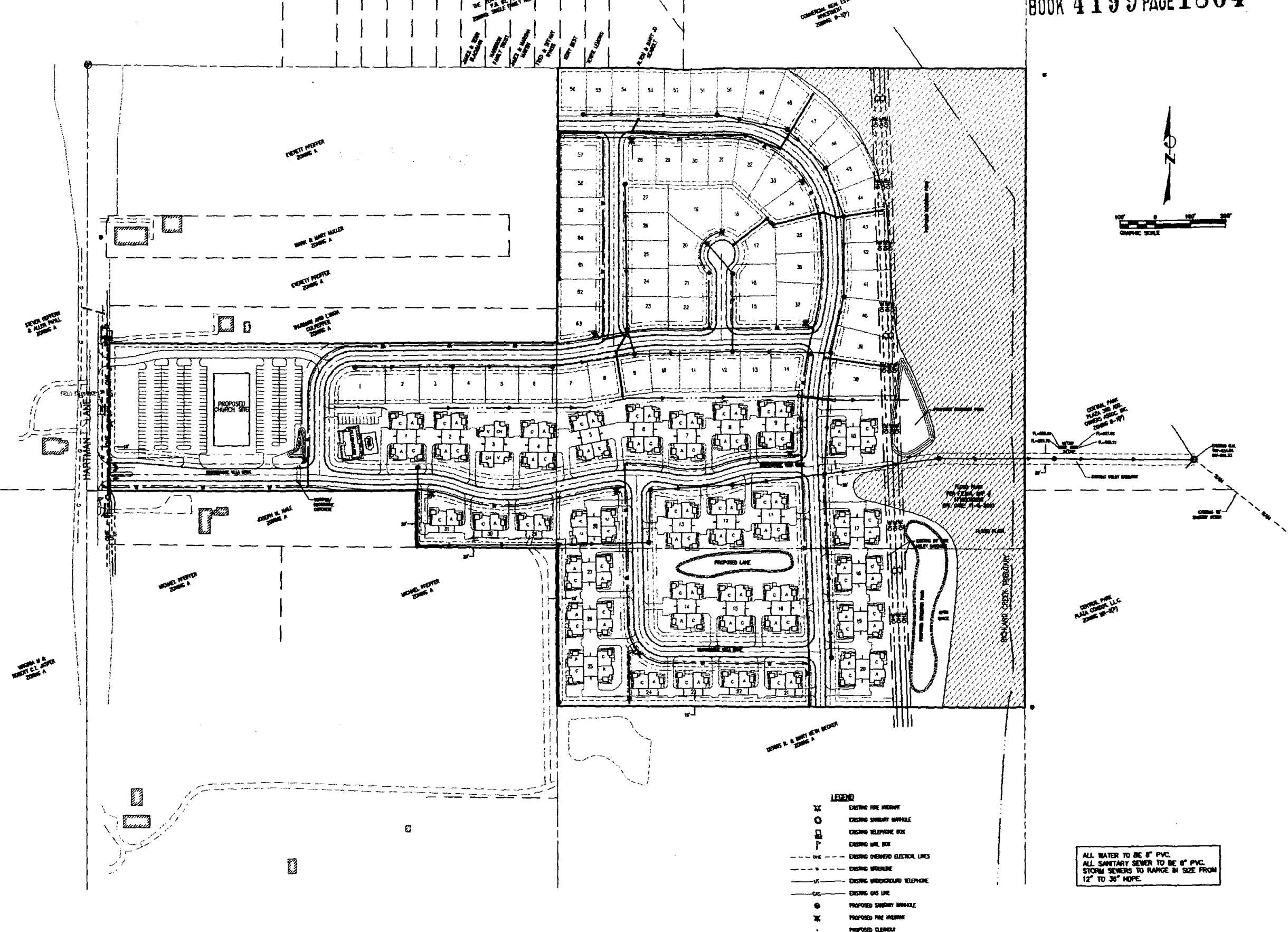


LEGEND

- PLANNED UNIT DEVELOPMENT
- OPEN SPACE
- EXISTING BUILDING
- EXISTING ROAD
- EXISTING CONTOURS

UTILITIES SHOWN ON SHEET 4
FINAL GRADING PLAN TO INCORPORATE AND ACCOMMODATE THE OFF-SITE DRAINAGE. ALL UNITS TO BE A MINIMUM OF 2 FEET ABOVE THE CENTERLINE OF STONEBRIDGE VILLA DRIVE.





THOUVENOT, WADE & MOERCHEN, INC.
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FAX (314) 472-2184
stlouis@twm-inc.com

PROFESSIONAL REGISTRATION	LICENSE NO.
Professional Engineer, State of Ill.	04-0018
Professional Surveyor, State of Ill.	04-0018
Professional Planner, State of Ill.	04-0018
Professional Architect, State of Ill.	04-0018
Professional Landscape Architect, State of Ill.	04-0018
Professional Engineer, State of Mo.	04-0018
Professional Surveyor, State of Mo.	04-0018
Professional Planner, State of Mo.	04-0018
Professional Architect, State of Mo.	04-0018
Professional Landscape Architect, State of Mo.	04-0018

STATEMENT OF RESPONSIBILITY
I, the undersigned, being duly licensed and qualified in the State of Illinois, do hereby certify that I am the author of the design and plan shown on this sheet, and that I am a duly licensed and qualified professional engineer, surveyor, and planner in the State of Illinois, and that I am a duly licensed and qualified professional architect, landscape architect, and engineer in the State of Missouri, and that I am a duly licensed and qualified professional engineer, surveyor, and planner in the State of Missouri.

UTILITY PLAN
PLANNED UNIT DEVELOPMENT

STONE BRIDGE MASTER PLANNED DEVELOPMENT
CITY OF OFFALON
ST. CLAIR COUNTY, ILLINOIS

LEGEND

XX	EXISTING FIRE HYDRANT
O	EXISTING SANITARY MANHOLE
□	EXISTING TELEPHONE BOX
□	EXISTING MAIL BOX
---	EXISTING OVERHEAD ELECTRICAL LINES
---	EXISTING UNDERGROUND
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING GAS LINE
○	PROPOSED SANITARY MANHOLE
XX	PROPOSED FIRE HYDRANT
□	PROPOSED TELEPHONE
---	PROPOSED SEWER LATERAL
---	PROPOSED SANITARY LINE
---	PROPOSED 8" PVC UNDERGROUND
---	PROPOSED UNDERGROUND

ALL WATER TO BE 8" PVC.
ALL SANITARY SEWER TO BE 8" PVC.
STORM SEWERS TO RANGE IN SIZE FROM 12" TO 36" HDPE.

REV	DATE	DESCRIPTION
1/17/04		ISSUED FOR PROJECT SITE
2/17/04		REVISED FOR PLANNING REVIEW COMMISSION
3/17/04		REVISED FOR PERMITS AND CLEARANCE LOCATIONS

DESIGNER	REVIEWER	SHEET
DESIGNED BY		4
CHECKED BY		
APPROVED BY		

PROJECT NUMBER: 001040333 OF 3 SHEETS
 PREPARED FOR: [] ISSUED FOR RECORD [] ISSUED FOR CONSTRUCTION [] RECORD DRAWING
 SHEET NUMBER: 1/17/2004 7:44am

CITY OF O'FALLON, ILLINOIS
RESOLUTION 2010 - 23

**A RESOLUTION DETERMINING THAT PROPOSED HOME ELEVATIONS FOR
STONEBRIDGE ESTATES ARE CONSIDERED "MINOR CHANGES" PURSUANT TO
THE PROVISIONS OF THE CITY'S PLANNED USE ORDINANCE AND THE
AGREEMENTS AND PROVISIONS ATTACHED HERETO**

WHEREAS, Scott Dettmer of Dettmer Homes proposes to build certain single family detached homes in the subdivision known as Stonebridge Estates; and

WHEREAS, the owner of the lots in Stonebridge Estates, Gregory Dix representing Equity South LLC, is in agreement with the proposed elevations and terms or agreement; and

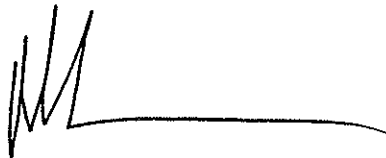
WHEREAS, the Community Development Committee, after carefully reviewing the matter, voted 3-0 to recommend the proposed elevations be considered "Minor Changes" by the full City Council at its meeting on April 12, 2010.

**NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF
THE CITY OF O'FALLON AS FOLLOWS:**

- 1) The single family house elevations and the terms and conditions pertaining to their construction, which are attached and made an integral and continuing part of this Resolution, are hereby considered as "Minor Changes" to the original approved Planned Use for the Stonebridge Subdivision, and are hereby accepted and authorized; and
- 2) That the City Clerk be and is hereby directed to file a copy of this Resolution; and
- 3) This Resolution shall become effective immediately upon its adoption by the City Council.

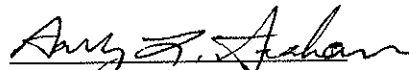
Resolved by the Mayor and City Council of the City of O'Fallon this 19th day of
April, 2010.

Attest:



Philip A. Goodwin, City Clerk

Approved:


Gary L. Graham, Mayor

RECEIVED APR 27 2010

April 10, 2010

City of O'Fallon
Mr. Ted Shekell
255 South Lincoln Avenue
O'Fallon, Illinois 62269

Dear Mr. Shekell:

Dettmer Homes, Equity South, LLC & the Stone Bridge Villas Homeowners Association have come to the following agreement. As part of this agreement the Stone Bridge Villas homeowners will not oppose the request by Dettmer Homes to amend the PUD to allow for the construction of additional home plans in the Estates.

- 1.) Villa homeowners agree to allow the construction of all elevations on the Livingston II, Thornton, Thornton II, Hancock II, Washington, Huntington II, Monroe, Madison, Truman, & Kennedy plans.
- 2.) The smallest floor plan offered by Dettmer Homes will be 1,878 square feet.
- 3.) All homes in the Estates to have Architectural Shingles with the same colors as the villa homes. This will be incorporated into the subdivision indentures to insure that any roof replacements in future years will also be obligated to follow this.
- 4.) Indentures & Home Owners Association will be created for Stone Bridge Estates, with a position on the board for a villa resident (most likely to be a member of the Board of the Villa HOA, but not a requirement). This position would be appointed by the Villa HOA Board, and not an elected position. The remaining 3 seats on the board will be filled by Estates homeowners. These indentures will be recorded prior to the first home closing in the Estates. A working relationship between the HOA's will be set forth in the Indentures that will allow for cost sharing for the maintenance and repair of common entry areas and other mutually beneficial features such as entry monuments, and any landscaping along Three Rivers Drive between Hartman Lane and Stone Hill Drive.
- 5.) The intention would be to ban all outdoor storage sheds and similar structures, with the exception of playgrounds, swing sets, and other play related items, provided they are kept in good repair, and are made of durable and appropriate materials
- 6.) Lots 1-14 shall have the following restrictions:
 - a. No outside storage buildings allowed.
 - b. No doghouses or dog pens allowed
 - c. No above ground pools allowed
 - d. A 5' tall vinyl fence will be installed along the rear property line common with the villa lots. Maintenance of this fence will be responsibility of Estates HOA. Color will be coordinated with Villa HOA and is intended to be of a similar color to the villa homes. This fence will be constructed with each individual home as they are built.
 - e. Dettmer Homes will make a contribution of \$428.57 upon the closing of each home on lots 1-14 to the Villa HOA for the purchase and planting of trees on the villa side

of the fence. These trees will be the responsibility of the villas HOA. This will be for a grand total of 60 trees. (60 trees x \$100 per tree = \$6,000, then divide by 14 lots = \$428.57 per lot).

- f. Earth tone exterior colors will only be allowed. These colors would be Clay, Tan, & Mist. Any additional colors would be decided in a meeting between the Villa HOA & Dettmer Homes.
 - g. All exterior windows will have shutters to match the style of the rest of the home. In certain cases, shutters may not fit (i.e. bay window). Dettmer Homes agrees to make a good faith attempt to fit the shutters on wherever possible.
- 7.) The exterior colors of lot 1 will be similar to the exterior colors on the existing villas.
- 8.) The approval of the specific floor plans does not apply to lots 1-7. Those lots will be withheld from this agreement, except as otherwise mentioned, until additional meetings can be held to determine the feasibility of building certain styles and sizes of homes. Lots 1-7 will not be offered for sale initially. If a specific buyer comes forward for one of these lots prior to a final agreement covering homes to be built on lots 1-7, Dettmer Homes will meet with the Villa HOA to review the specific plan and details and discuss whether or not it is an appropriate plan. Lots 1-7 will be limited to plans that are only 1-story tall, plus the walk-out, at the rear building wall. These homes may be smaller than 1,878 square feet if agreed to by the Villa HOA once specific plans are presented.

In general; Dettmer Homes, the Stone Bridge Estates HOA, and the Stone Bridge Villas HOA, agree to work together on any future changes, revisions, or issues that were not foreseen at the time of this agreement using the intent of this agreement as a guideline.



Scott Dettmer
Owner
Dettmer Homes of Illinois, LLC



Equity South, LLC



































Call me today!
COURTESY
BARBIE
CHIN WALKER
404-523-8200

803











CITY COUNCIL AGENDA ITEM

To: Mayor Graham and City Council

From: Ted Shekell, Community Development Director
Walter Denton, City Administrator

Date: December 7, 2015

Subject: P2015-14: Amended Stone Bridge Estates, Planned Use – 1st Reading

List of committees that have reviewed: The Planning Commission held a public hearing on the above referenced application at their November 10, 2015 meeting. The Commission voted 8-ayes and 0-nays to approve the requested Amended Planned Use application for McBride & Sone Homes, subject to the conditions recommended by staff. The Community Development Committee reviewed the amended planned use at its November 23, 2015 meeting and recommended approval with a vote of 6-ayes to 0-nays.

Background

The applicant, McBride & Son Homes, is requesting a revised planned use ordinance from the City Council regarding new single-family home elevations the company is proposing to construct at Stone Bridge Estates, which is located in the same Planned Development as Stone Bridge Villas on Hartman Lane. The original Planned Development approved by Council granted that certain single-family home elevations would be built on the 63 lots in the Estates. These were homes proposed to be built by the owner of the project at that time, Rev Casey, who has since relinquished ownership of the single family Estates lots through foreclosure on the development by the bank. Since then a resolution was passed by the City Council in 2010 to approve revised elevations to Dettmer Homes. Dettmer Homes constructed 8 single-family residences. Should the elevations proposed by McBride & Son Homes be approved as a part of an amended planned use, the infrastructure is in place to begin building immediately on the remaining 55 single-family lots.

McBride & Son Homes have been building homes in the St. Louis metro area for over 60 years. McBride is currently building in O'Fallon at the Stone Briar subdivision off Old Collinsville Road. McBride & Son Homes are proposing to build their Bayside and Oakwood series of single-family homes, with sodded lots, a street tree and front lawn plantings. McBride & Son Homes proposes building single-family homes in the Estates; however, their home elevations are not the same exact ones originally approved by the City Council in the planned use development and subsequently amended by resolution for Dettmer Homes.

The purpose of the amended planned use is to provide McBride & Sons with a clean zoning approval for their construction project.

Please see the attached Plan Commission Project Report for more detailed information on the proposal.

Legal Considerations, if any: None

Budget Impact: Park Fee of \$866.19 for each home permit approved for McBride & Son Homes.

Staff Recommendation: Staff believes the elevations are consistent enough with the originally approved elevations in the Stone Bridge Estate development and recommends approval of the amended planned use, with the following conditions:

1. A variance to Lot 1-7 to reduce the front setback to 20 feet.
2. A Park Fee of \$866.19 shall be collected for each home permit approved for McBride & Son Homes
3. The sidewalk associated with the lot will be constructed with each home permit approved for McBride & Son Homes.
4. All other required improvements have been constructed previously.

CITY OF O’FALLON
ORDINANCE NO. _____

**AN ORDINANCE AMENDING
ORDINANCE 623, ZONING DISTRICTS
OF THE CITY OF O’FALLON,
ILLINOIS (DEVELOPMENT KNOWN
AS “ACADEMY SPORTS”) LOCATED
AT 1574 WEST HIGHWAY 50**

WHEREAS, Academy Sports + Outdoors, a commercial development in the City of O’Fallon, IL, which was previously zoned as part of a Planned Use Application by and through Ordinance No. 3882, pursuant to the requirements of all applicable laws, including City Ordinance 3471, “Planned Uses”; and

WHEREAS, the applicant, Rosalyn Holderfield of ID Associates, Inc., has filed an application requesting approval of an amended planned use rezoning to authorize construction of a 63,000 square foot, sporting good retail store at 1574 West Highway 50 in O’Fallon; and

WHEREAS, the applicant has filed an application with the City of O’Fallon, Illinois pursuant to the requirements of all applicable laws, including City Ordinance 3471, “Planned Uses”; and

WHEREAS, the Planning Commission of the City of O’Fallon, Illinois held a public hearing on November 10, 2015, in accordance with state statute, and recommended to approve the petitioner’s request to obtain a B-1(P) Planned Community Business District zoning for the property with a vote of 8 ayes to 0 nays as outlined in the adopted Planning Commission Report, attached hereto and declared to be an inseparable part hereof (Exhibit A); and

WHEREAS, on November 23, 2015 the Community Development Committee of the City Council reviewed the rezoning and recommended approval with a vote of 6 ayes to 0 nays.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF O’FALLON, ST. CLAIR COUNTY, ILLINOIS AS FOLLOWS:

Section 1. That upon the effective date of this Ordinance amending Ordinance No. 3882, the described property, known as “Academy Sports”, be henceforth, classified as zoning district B-1(P) Planned Community Business District with the following conditions:

1. A variance to allow the parking lot to be striped according to the site plan and allowing the parking lot to remain as constructed, in terms of existing landscape islands and lighting.
2. A variance to allow the front elevation to have three wall signs.
3. A variance to allow 561.8 square feet on the front elevation (facing Highway 50) and 337.13 square feet on the rear elevation (facing Interstate 64).

Section 2. A Certified Copy of this ordinance, with all referenced attachments, shall be filed with the City Clerk’s office of the City of O’Fallon, Illinois.

Upon its passage and approval, this Ordinance shall be in full force and effect ten (10) days after its publication in pamphlet form as required by law.

Passed by the City Council this _____ day of _____ 2015.

ATTEST:

Approved by the Mayor this _____ day

(seal)

of _____ 2015.

Philip A. Goodwin, City Clerk

Gary L. Graham, Mayor

ROLL CALL:	McCoskey	Meile	Albrecht	Kueker	Mouser	Hagarty	Roach	SUB TOTALS
Aye								
Nay								
Absent								

ROLL CALL:	Smallheer	Bennett	Marsh	Holden	Drolet	Cozad	Gerrish	SUB TOTALS	SUM OF TOTALS
Aye									
Nay									
Absent									



PROJECT REPORT

TO: Planning Commission
FROM: Justin Randall, Senior City Planner
THRU: Ted Shekell, Community Development Director
DATE: November 10, 2015
PROJECT: P2015-16: Academy Sports, Planned Use

Location: 1574 West Highway 50
Ward: 5
Applicant: ID Associates, Inc., Rosalyn Holderfield
Owner: Lincoln Crossing, LLC, Stephen DeRiesthal
Submitted: October 19, 2015

Introduction & Background

In April of 2015, Lincoln Crossing, LLC filed an application requesting a planned use for a parcel of land at 1574 West Highway 50 zoned B-1(P), Planned Community Business District for the construction of a new 62,943 square foot Academy Sports sporting goods store. The planned use was approved as presented to the Planning Commission and City Council. However, as final design of the building proceeded, the developer and sign consultants for the project realized the previous submittal incorrectly indicated their sign package would meet the sizing requirements of the City's codes. As indicated by the previous submittal and email from the developer, they were focused on getting the number signs allowed on the building and not the required square footage of the signage required by Academy Sports.

Discussion Points/Issues

Land Use / Traffic Circulation / Parking / Utilities

No changes to the building, traffic circulation, parking or utilities have been proposed from the first submittal. The plan is for the construction of 62,943 square foot sporting goods store. The full detailed analysis of the site and building can be found in the previous Plan Commission Report for P2015-05, attached to this report.

Signage

The original sign package submitted included a building elevation, which has not changed. However, the developer incorrectly assumed the sign square footage, focusing on assuring the front elevation would be approved with three signs "Academy Sports + Outdoors" and two Academy logos to the right and left of the entrance, which consists of an "A". As the final details have been moving forward, the square footage of the signs on the front and rear elevations have been finalized and do not meet the City's sign regulations.

Based on the size of the building, the project could have signs on three elevations with up to 300 square feet on each elevation. The proposed sign package is requesting for the front elevation (facing Highway 50) to include the

"Academy Sports + Outdoors" at 451.8 square feet with two Academy logos totaling 55 square feet each. The total requested signage on the front elevation is 561.8 square feet. The rear elevation is proposing one sign, "Academy Sports + Outdoors" at 337.13 square feet.

VariANCES

The requested variances to Parking Lot Design and allowing three signs in the front elevation are still proposed and detailed analysis of the previously requested variance can be found in the previous Plan Commission Report for P2015-05, attached to this report.

Maximum square footage of signage: The project as proposed would be allowed up to three sides of the building to have up to 300 square feet of signage. The front building elevation is requesting a total of 561.8 square feet consisting of one large wall sign (451.8 square feet) with two smaller wall signs (55 square feet each) to either side. The rear building elevation is requesting one sign totaling 337.13 square feet. The developer has provided additional information to justify the increase in allowed signage, citing the location of the building is over 600 feet from the frontage on Highway 50 and 600 feet from the frontage on Interstate 64. The distance from these two major thoroughfares greatly reduces visibility of the store fronts should the development be required to meet the 300 square foot requirement.

Additionally, as proposed the signage on the front elevation would only account for approximately 5.5% of the total front wall elevation and the proposed signage on the rear elevation would only account for approximately 4% of the total rear wall elevation. City staff has reviewed the overall sign package and compared the request to a previous request of another retailer with similar characteristics, the recently approved Gander Mountain. Gander Mountain requested 431.5 square feet on the front elevation (approximately 6.7% of the wall area) and 231.5 square feet on the rear elevation (approximately 4.2% of the wall area). Overall staff found the proposed the sign package is not out of scale in terms of percentage of wall coverage from past approvals and believes the sign package is not out of character for the proposed development.

Review and Approval Criteria

Section 158.119 of Article 6 "Planned Uses" lists several criteria for evaluating planned uses. Evaluation of the project based on these factors is included under each criterion.

1. The criteria governing the rezoning of the property and approval of site plans, as set forth in the standards and requirements found elsewhere in the zoning code or in other applicable law,
The project meets all applicable zoning standards, except the existing parking lot and the proposed signage outlined above.
2. The physical design of the proposed plan and the manner in which said design makes adequate provisions for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and park dedication, and furthers the amenities of light, air, recreation and visual enjoyment.
The proposed development provides adequate provisions for public services, provides the necessary improvements to the control the increased traffic. Staff believes the site furthers the amenities of light, air, recreation and visual enjoyment.
3. The relationship and compatibility of the proposed plan to adjacent properties and the surrounding neighborhood.
The new sporting goods store will not negatively affect adjacent properties. The Highway 50 corridor is a commercial corridor with a variety of retail, service and restaurant businesses.
4. The conformity with the standards and principles of the Comprehensive Plan and all other adopted regulations, including the Commercial Design Handbook dated July 6, 2009 and on file with the City Clerk. (Ord 3665; passed 5-3-10)
The proposal is consistent with the Comprehensive Plan. The design of the buildings meets the intent of the Commercial Design Handbook.

Community Development Department

5. The use(s) are designed, located and proposed to be operated so that the public health, safety and welfare will be protected.
The proposed development is designed to be operated to protect the public health, safety and welfare.
6. An identified community need exists for the proposed use.
Yes, a community need exists for the proposed use.
7. The proposed use(s) will not impede the normal and orderly development and improvement of the surrounding property, nor impair the use, enjoyment, or value of neighboring properties.
The development will not impede the normal and orderly development and use of the surrounding property, nor will it impair the use, enjoyment, or value of neighboring properties.
8. The degree of harmony between the architectural quality of the proposed building and the surrounding neighborhood.
The proposed building is similar to and will not detract from many of the structures surrounding the property.
9. The appropriateness of the minimum dimensions and areas of lots and yards set forth in the applicable zoning district regulations.
The proposed development meets the area-bulk requirements set forth in the B-1 Community Business District.

Staff Recommendation

Staff recommends approval of the amended planned use, with the following conditions:

1. A variance to allow the parking lot to be striped according to the site plan and allowing the parking lot to remain as constructed, in terms of existing landscape islands and lighting (previously approved).
2. A variance to allow the front elevation to have three wall signs (previously approved).
3. A variance to allow 561.8 square feet on the front elevation (facing Highway 50) and 337.13 square feet on the rear elevation (facing Interstate 64) (current request).

Attachments

- Attachment 1 – P2015-05 Plan Commission Report
- Attachment 2 – Project Narrative
- Attachment 3 – Sign Package
- Attachment 4 – Email from Developer



PROJECT REPORT

TO: Planning Commission
FROM: Justin Randall, Senior City Planner
THRU: Ted Shekell, Community Development Director
DATE: April 28, 2015
PROJECT: P2015-05: Academy Sports, Planned Use

Location: 1574 West Highway 50

Ward: 5

Applicant/Owner: Lincoln Crossing, LLC, Chris Mulloy

Submitted: April 2, 2015

Introduction

Lincoln Crossing, LLC has filed an application requesting a planned use for a parcel of land at 1574 West Highway 50 zoned B-1(P), Planned Community Business District for the construction of a new 62,943 square foot Academy Sports sporting goods store. The property has an existing 24,000 square foot Pet Smart and 15,000 square foot retail strip center with Crown Vision Center, Great Clips, Boost Mobile and Rainbow as tenants and associated parking. The site will be developed with the new store building to the west of the existing Pet Smart, which will be downsized to approximately 19,500 square feet. The Academy Sports building will utilize the existing parking lot as constructed.

Existing Conditions

Surrounding Zoning:

North: B-1
East: B-1(P)
South: B-1
West: B-1(P)

Surrounding Land Use:

North: St. Clair Auto Mall.
East: Walmart Supercenter.
South: Vacant Payless and Dairy Queen, McDonalds.
West: Home Depot, Culver's and St. Clair Auto Mall.

Please see the attached maps for more detailed information on surrounding zoning and land uses.

Applicable Ordinance, Documents and Reports

O'Fallon Comprehensive Plan: The O'Fallon Comprehensive Plan Future Land Use Map depicts the subject property as Regional Commercial, which is consistent with the proposed sporting goods retail store.

Code of Ordinances: The proposed 62,943 square foot retail store is subject to Article 6 Planned Uses of Chapter 158: Zoning of the Code of Ordinance and requires a development plan. The property is also subject to the B-1, Community Business District requirements.

Public Notice: Public Notice of this project has been fulfilled in accordance with Section 158.255 and 158.256 of the City of O'Fallon Zoning Regulations. More specifically, the applicant has notified property owners within 250 feet of the subject property via certified mail of the filing of the zoning amendment. Additionally, the City has notified property owners within

Community Development Department

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250 feet of the subject parcel of the public hearing at least 15 days prior to the hearing and published notice of the public hearing in a local newspaper at least 15 days in advance. Proof of notification is on file with the City's Community Development Department.

Discussion Points/Issues

Land Use

The 62,943 square foot building requires this particular land use of a sporting goods store to receive planned use approval, because the project includes new construction of a building greater than 20,000 square feet. The subject property is surrounded by commercial uses along Highway 50. The subject property is identified as *Regional Commercial* in the Comprehensive Plan. The proposed project is consistent with the Comprehensive Plan.

Traffic Circulation/Parking

Ingress and Egress: The proposed development has three existing access points onto Highway 50, one of which is a lighted intersection. Additionally, the site has two access points to the adjoining Home Depot site to the west. Internal drive aisles are sized at 24 feet, meeting the requirements of the city's parking code.

Parking: Retail sales type land uses are required to provide 4 parking spaces per 1,000 square feet of gross floor area. The 62,943 square foot sporting goods store requires 252 parking spaces. The development is utilizing an existing parking lot in the Lincoln Crossing shopping center. The parking lot is currently striped with 9.5-foot wide parking spaces and the lot is in need of some repair. The parking plan indicates a portion of the lot will be resealed and a majority of the lot will be milled and repaved. The parking plan has proposed 254 spaces, including 4 accessible spaces. The site plan indicated that 144 parking spaces will be striped at a width of 10 feet and a length of 19 feet and 106 spaces will be striped at a width of 9.5 feet and a length of 19 feet. The 10 foot wide spaces will be closest to the building to a point 17 spaces out and then transition down to 9.5 feet. The Illinois Accessibility Code will require the site to provide an additional 3 accessible parking spaces and locate the spaces closest to the entrance of the building. Overall, the entire site (Academy, Pet Smart and the retail strip center) has 440 parking spaces and requires 380 parking spaces, so the site as a whole still exceeds the parking requirements. The parking regulations require the site to provide parking spaces striped at 10-foot wide and as proposed the parking lot striping would need a variance.

On-site circulation: On-site circulation has been reviewed by staff. It is staff's opinion that the layout depicted on the site plan will effectively address internal, as well as external traffic control. There is a clearly defined truck route that will allow easy access for shipments of goods to the store. A cross access easement to the lot to the west will need to be verified, however, there are existing access points indicating the easement exists.

Utilities and Drainage

Public water and sanitary sewer is available to serve the subject property. Water will be provided by the City of O'Fallon, while sanitary sewer will be provided by Caseyville Township Sewer District. Stormwater will flow to new inlets within the lot and be piped into the regional detention constructed to the north of the building. Drainage calculations and reports will be required during final development plan review and will meet City requirements to ensure the volume of the pond can accommodate the proposed development.

Building and Site Improvements

The building elevations have been submitted with the planned use application. The majority of the building is constructed of concrete tilt wall panels with textured paints. The entrance will be an EIFS textured wall finish with a large glass entry and a burnished block base along the front elevation. Over the entrance is a large "Academy Sports + Outdoors" sign with a logo on both sides of the entrance. The side and rear of the building has a dark gray band of painted block at the base and near the top is a red/white/blue band of painted block. The overall appearance of the building is mostly consistent with the Commercial Design Handbook design recommendations.

Sidewalks: The site was developed with sidewalks along Highway 50.

Landscaping and Buffer Requirements

Under the original improvements of the site, the development included landscaping around parking lot and drive aisles, as well as the required landscaping within the parking lot islands. The site does not have all of the required landscape islands at the end of parking rows. Additionally, there are a number of rows of parking that exceed the requirement of providing an island after 20 consecutive parking spaces. The developer has requested to use the existing parking lot as constructed.

Lighting

Parking lot lighting will remain as constructed, which some are located outside of landscape islands. All lighting standards must be in proper working order. The developer has requested to use the existing parking lot as constructed.

Signage

The plan indicates the development will add a panel to the existing Lincoln Crossing monument sign along Highway 50 and the monument sign along Interstate 64. Based on the size of the building, the project could have signs on three elevations with up to 300 square feet on each elevation. The front elevation has the text "Academy Sports + Outdoors" and two Academy logos to the right and left of the entrance, which consists of an "A".

The developer has indicated the signage proposed above and to the sides of the entrance will meet the 300 square foot maximum per elevation according to the sign regulations. However, the code allows for only one wall sign per elevation and the "A" logos are separated far enough from the main sign to be considered separate signs, thus the requested "A" logos will require a variance request. At this time, no other signage has been proposed for the other two elevations.

Hours of Operation

There are no proposed limitations of the hours of operation on the site.

Variances

Parking Lot Design: Section 158.142 requires parking spaces to be striped at 10 feet in width. Section 158.143 requires lighting in parking lots to be constructed within landscape islands. Section 158.144 requires landscape islands at the end of every parking row and a landscape island after 20 consecutive parking spaces.

The site is utilizing an existing parking lot with a number of limitations hindering the site from meeting all of the regulations of a new parking lot. The existing parking lot is limited in size do to the infill nature of the site. There is no area for the parking lot to be expanded to allow for all 10-foot wide parking spaces and landscape islands at all locations required in a new parking lot. Additionally, it is not practical to tear out the existing pavement to add landscape islands and move the existing lighting into landscape islands. The developer has made an attempt to increase the conformity of the existing parking lot.

Signage: The sign code allows one wall sign at a maximum of 300 square feet. The front building elevation is requesting one large wall sign with two smaller wall signs to either side. The developer indicates the proposed signage would not exceed the allowed 300 square feet. City staff has reviewed the overall sign package and believes the sign package is not out of scale for the proposed development

Review and Approval Criteria

Section 158.119 of Article 6 "Planned Uses" lists several criteria for evaluating planned uses. Evaluation of the project based on these factors is included under each criterion.

1. The criteria governing the rezoning of the property and approval of site plans, as set forth in the standards and requirements found elsewhere in the zoning code or in other applicable law,
The project meets all applicable zoning standards, except the existing parking lot and the proposed signage outlined above.
2. The physical design of the proposed plan and the manner in which said design makes adequate provisions for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and park dedication, and furthers the amenities of light, air, recreation and visual enjoyment.

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The proposed development provides adequate provisions for public services, provides the necessary improvements to the control the increased traffic. Staff believes the site furthers the amenities of light, air, recreation and visual enjoyment.

3. The relationship and compatibility of the proposed plan to adjacent properties and the surrounding neighborhood.
The new sporting goods store will not negatively affect adjacent properties. The Highway 50 corridor is a commercial corridor with a variety of retail, service and restaurant businesses.

4. The conformity with the standards and principles of the Comprehensive Plan and all other adopted regulations, including the Commercial Design Handbook dated July 6, 2009 and on file with the City Clerk. (Ord 3665; passed 5-3-10)

The proposal is consistent with the Comprehensive Plan. The design of the buildings meets the intent of the Commercial Design Handbook.

5. The use(s) are designed, located and proposed to be operated so that the public health, safety and welfare will be protected.

The proposed development is designed to be operated to protect the public health, safety and welfare.

6. An identified community need exists for the proposed use.

Yes, a community need exists for the proposed use.

7. The proposed use(s) will not impede the normal and orderly development and improvement of the surrounding property, nor impair the use, enjoyment, or value of neighboring properties.

The development will not impede the normal and orderly development and use of the surrounding property, nor will it impair the use, enjoyment, or value of neighboring properties.

8. The degree of harmony between the architectural quality of the proposed building and the surrounding neighborhood.

The proposed building is similar to and will not detract from many of the structures surrounding the property.

9. The appropriateness of the minimum dimensions and areas of lots and yards set forth in the applicable zoning district regulations.

The proposed development meets the area-bulk requirements set forth in the B-1 Community Business District.

Staff Recommendation

Staff recommends approval of the use, with the following conditions:

1. A variance to allow the parking lot to be striped according to the site plan and allowing the parking lot to remain as constructed, in terms of existing landscape islands and lighting.
2. A variance to allow the front elevation to have three wall signs, not to exceed 300 square feet in total size.

Attachments

Attachment 1 – Project Application

Attachment 2 – Zoning Map

Attachment 3 – Land Use Map

Attachment 4 – Site Plan

Attachment 5 – Building Elevations

Attachment 6 – Sign Package



Planned Use / Re-Zoning Application

NAME OF PROJECT: Lincoln Crossing - Academy Sports

ADDRESS/GENERAL LOCATION: 1574 W Hwy 50

SUBDIVISION NAME & LOT NUMBER(S): Lot 1 - Subdivision of Lot 1 of the Resubdivision of Part of Lot 1 of Lincoln Crossing

PARCEL NUMBER(S): 03-26.0-201-006

PLEASE CHECK THE TYPE OF APPLICATION (PLEASE CHECK ONE):

- PLANNED USE
- RE-ZONING (STANDARD MAP AMENDMENT)

SUMMARY DATA (RESPOND TO ALL THAT APPLY):

PRESENT ZONING: B-1 (P)

PROPOSED NUMBER OF BUILDINGS: 1

PROPOSED ZONING: B-1 (P)

PROPOSED GROSS FLOOR AREA: 62,943

PROPOSED # OF LOTS: 1

AREA IN ACRES: 12.46

PROPOSED # OF DWELLING UNITS: N/A

PRESENT USE: General Retail/Parking

APPLICANT INFORMATION:

NAME: Chris Mulloy

COMPANY: Lincoln Crossing, LLC

ADDRESS: 225 W Washington Street
Indianapolis IN 46204

PHONE: 317-263-8179

FAX: 317-263-2333

EMAIL: CMulloy@Simon.com

DESIGN PROFESSIONAL INFORMATION:

NAME: Nathan Winslow


COMPANY: American Structurepoint, Inc.

ADDRESS: 7260 Shadeland Station
Indianapolis IN 46256

PHONE: 317-547-5580

FAX: 317-543-0270

EMAIL: nwinslow@structurepoint.com


SIGNATURE OF APPLICANT


SIGNATURE OF DESIGN PROFESSIONAL

STAFF USE ONLY	
DATE RECEIVED: _____	PROJECT ID #: _____
APPLICATION RECEIVED BY: _____	STAFF ASSIGNED: _____
APPLICATION FEE: _____	PLAN REVIEW FEE DEPOSIT REC'D: _____



Lincoln Crossing – Academy Sports Project Narrative

The subject property is located at 1574 W Highway 50 and is zoned B-1(P). Existing on the site is a PetSmart store with an adjoining retail strip center. The area located between I-64 and its intersection with US 50 W is solidly commercial: a Walmart Supercenter is located directly east to the property with a hardware store and Sam’s Club just beyond; a Home Depot is adjacent to the west. Commercial uses line the north side of US 50 including eating establishments and general retail. Uses south of US 50 are a mix of commercial and single-family residential.

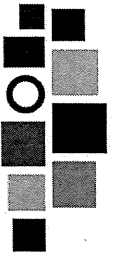
The project includes partial demolition (about 4,500 sq. ft.) of the existing PetSmart store to allow for construction of a nearly 62,943 sq. ft. Academy Sports + Outdoor retail sporting goods location. Like the PetSmart and Walmart, Academy will face south with frontage on US 50. The large existing parking lot functioned as shared parking among the strip center, Walmart and PetSmart. The lot will be re-striped and no additional parking will be added to the existing 364 spaces to accommodate the new use; the parking lot landscape islands will remain. Loading docks will be added on the north side of the proposed building. Construction will span the location of the old PetSmart, strip center, as well as the vacant lot east of the Home Depot location.

The existing divided entrance to from US 50 will remain in its current location and will continue to provide unrestricted access onto US 50. The landscaped median will also remain.

The City of O’Fallon permits up to 300 sq. ft. of signage per building side at this location. Signage will include Academy’s large “A” logo. Additional signage will be located on the existing pylon sign along I-64 frontage.

Sanitary utilities exist to adequately serve the project. A sanitary sewer line and water main (guided by the Illinois EPA) will be relocated to accommodate the limits of the project. Stormwater drainage will continue to be directed through storm inlets to pipes along US 50 or to the large retention area and behind Walmart. Gas service will be provided from existing infrastructure located on-site. The existing overhead electric will be buried northwest of the proposed building north of the access drive and another line will be buried on the west side of the building.





AMERICAN
STRUCTUREPOINT
INC.

April 6, 2015

Mr. Justin Randall
City of O'Fallon, IL
255 S. Lincoln Avenue
O'Fallon, IL 62269

Re: Lincoln Crossing – Academy Sports, request for parking variance

Dear Mr. Randall:

American Structurepoint, Inc., on behalf of our client, WP Glimcher, Inc., respectfully request a variance for a combination of 9.5' and 10' wide parking stalls associated with the development of the Lincoln Crossing – Academy Sports project.

The proposed project requires a minimum of 251 parking spaces and includes the development of the final undeveloped outlot that is part of the Lincoln Crossing retail center. The parking lots were constructed and striped with the previous developments and were designed to serve the future development of the aforementioned property. The existing parking lot intended to serve the proposed development provided the required 251 parking spaces, but did not meet the minimum 10'x19' parking stall dimension as required by the City Zoning Ordinance.

In order to maintain the minimum 251 parking spaces and meet the intent of the Zoning Ordinance to the maximum extent possible, a variance will be required to allow for 103 of the 251 parking spaces to be 9.5' in width. These parking stalls will be the most remote and least used stalls within the parking lot.

Meeting the full extent of the parking requirements set forth in the Zoning Ordinance would create a significant hardship due to the utility and landscaping infrastructure (sewers, lighting, landscaping and ATM drive-thru) already in place and would create little benefit to the regular consumer. The proposed striping would be an improvement over existing conditions by locating the smaller parking stalls near the rear of the parking lot.

At this time, we ask to be placed on the agenda for the next Plan Commission meeting.

We appreciate your time and consideration of our request. Please call me at (317) 547-5580 if you have any questions.

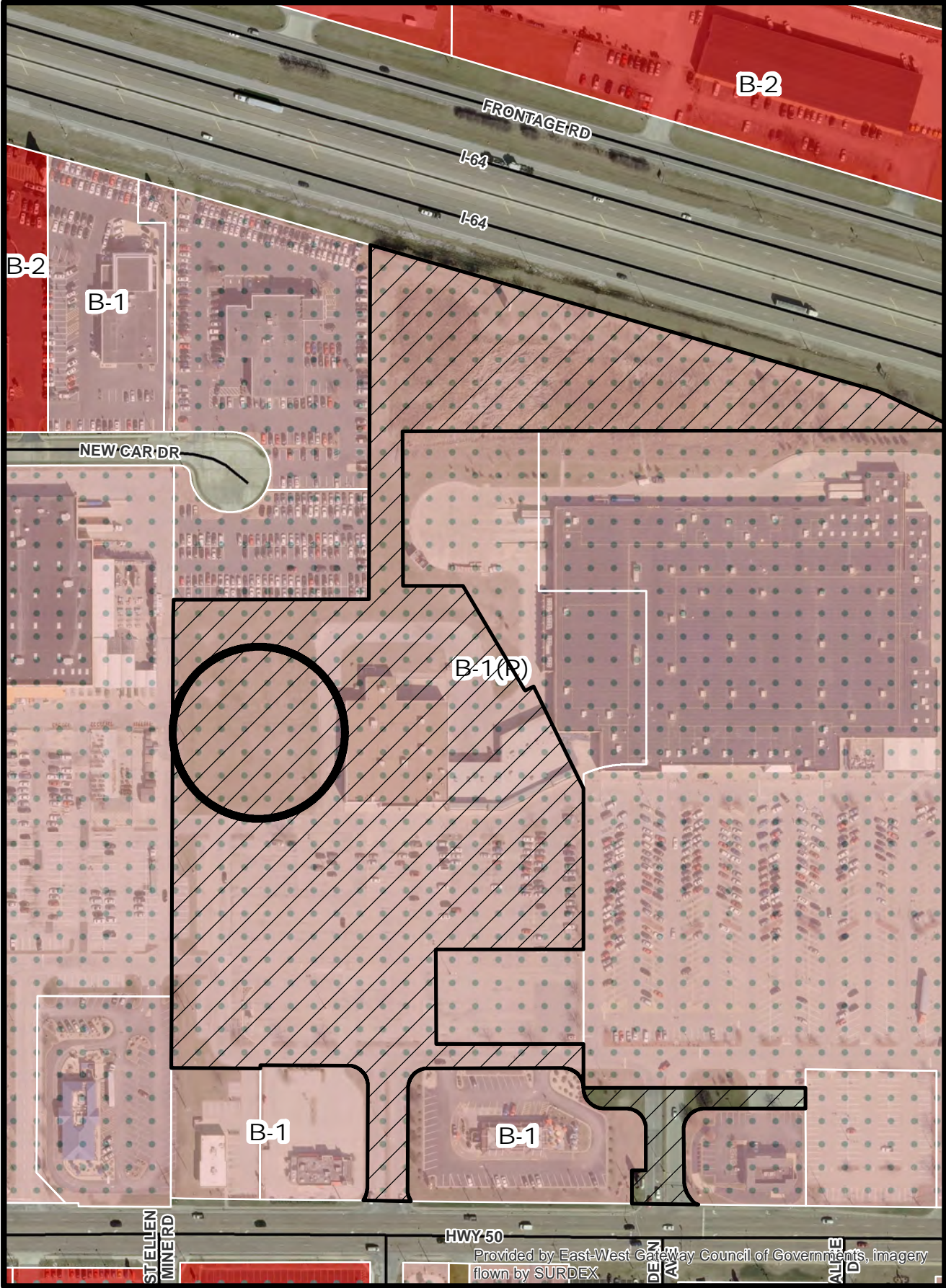
Very truly yours,
American Structurepoint, Inc.

Nathan Winslow, PE
Senior Project Engineer


201302324



P2015-05: Academy Sports - Zoning Map



 Subject Property

 Area of Construction

0 87.5 175 350 525 Feet



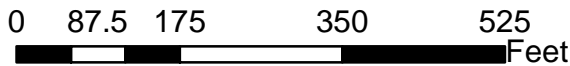
Provided by East-West Gateway Council of Governments, imagery flown by SURDEX

P2015-05: Academy Sports - Land Use Map

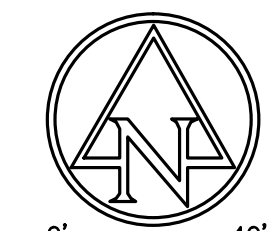
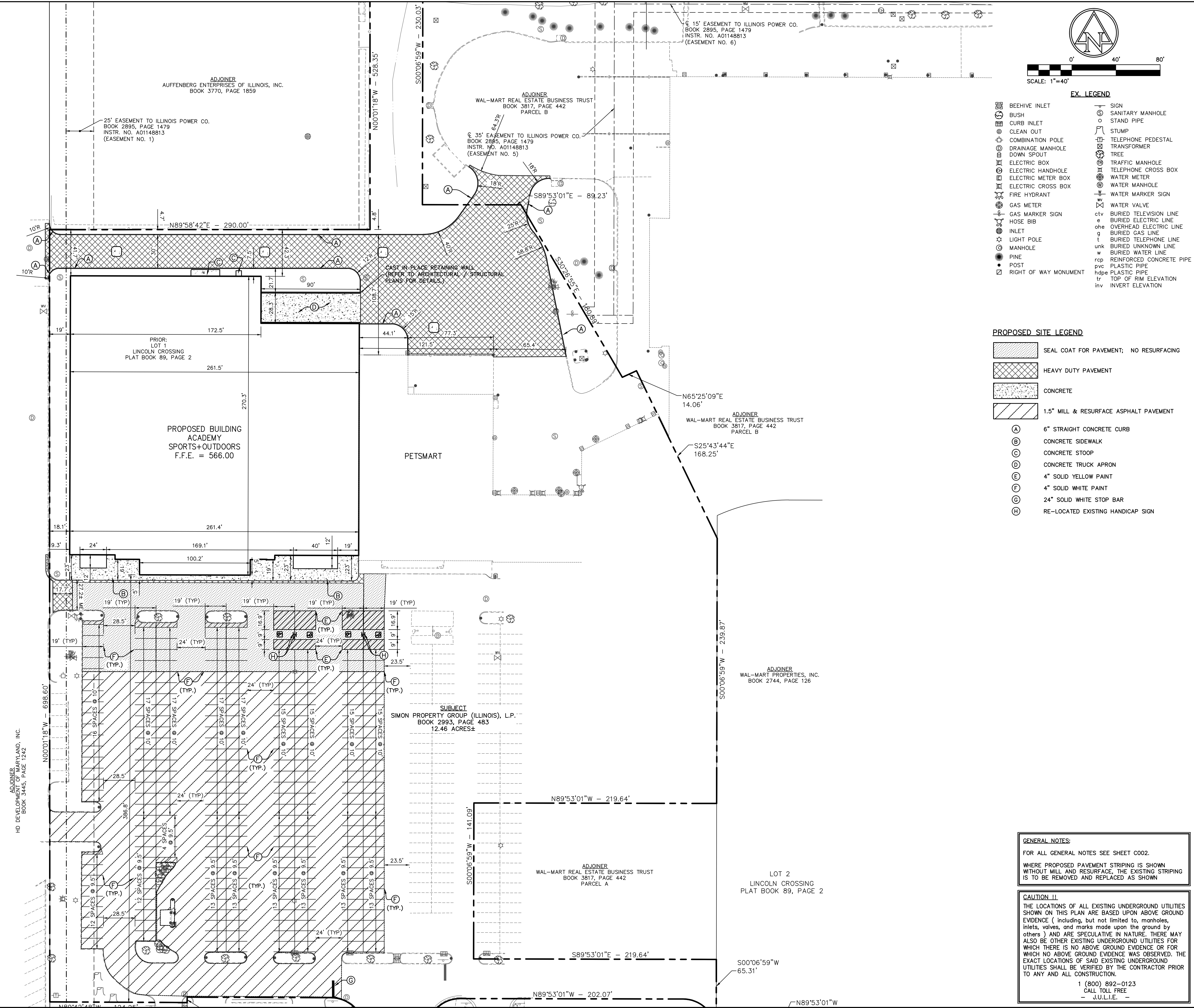


Provided by East-West Gateway Council of Governments, imagery flown by SURDEX

-  Subject Property
-  Area of Construction



PLOT DATE: 4/6/2015 6:06 PM
 PLOT SCALE: 1"=40'
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 DRAWING FILE: P:\2013\02324\DWG\SitePlan.dwg
 EDITED BY: RBERGER
 EDIT DATE: 4/6/2015



0' 40' 80'
 SCALE: 1"=40'

EX. LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> ⊕ BEEHIVE INLET ⊕ BUSH ⊕ CURB INLET ⊕ CLEAN OUT ⊕ COMBINATION POLE ⊕ DRAINAGE MANHOLE ⊕ DOWN SPOUT ⊕ ELECTRIC BOX ⊕ ELECTRIC HANDHOLE ⊕ ELECTRIC METER BOX ⊕ ELECTRIC CROSS BOX ⊕ FIRE HYDRANT ⊕ GAS METER ⊕ GAS MARKER SIGN ⊕ HOSE BIB ⊕ INLET ⊕ LIGHT POLE ⊕ MANHOLE ⊕ PINE ⊕ POST ⊕ RIGHT OF WAY MONUMENT | <ul style="list-style-type: none"> ⊕ SIGN ⊕ SANITARY MANHOLE ⊕ STAND PIPE ⊕ STUMP ⊕ TELEPHONE PEDESTAL ⊕ TRANSFORMER ⊕ TREE ⊕ TRAFFIC MANHOLE ⊕ TELEPHONE CROSS BOX ⊕ WATER METER ⊕ WATER MANHOLE ⊕ WATER MARKER SIGN ⊕ WATER VALVE ⊕ BURIED TELEVISION LINE ⊕ BURIED ELECTRIC LINE ⊕ OVERHEAD ELECTRIC LINE ⊕ BURIED GAS LINE ⊕ BURIED TELEPHONE LINE ⊕ BURIED UNKNOWN LINE ⊕ BURIED WATER LINE ⊕ REINFORCED CONCRETE PIPE ⊕ PLASTIC PIPE ⊕ PLASTIC PIPE ⊕ TOP OF RIM ELEVATION ⊕ INVERT ELEVATION |
|--|--|

PROPOSED SITE LEGEND

- SEAL COAT FOR PAVEMENT; NO RESURFACING
- HEAVY DUTY PAVEMENT
- CONCRETE
- 1.5" MILL & RESURFACE ASPHALT PAVEMENT
- (A)** 6" STRAIGHT CONCRETE CURB
- (B)** CONCRETE SIDEWALK
- (C)** CONCRETE STOOP
- (D)** CONCRETE TRUCK APRON
- (E)** 4" SOLID YELLOW PAINT
- (F)** 4" SOLID WHITE PAINT
- (G)** 24" SOLID WHITE STOP BAR
- (H)** RE-LOCATED EXISTING HANDICAP SIGN

GENERAL NOTES:
 FOR ALL GENERAL NOTES SEE SHEET C002.
 WHERE PROPOSED PAVEMENT STRIPING IS SHOWN WITHOUT MILL AND RESURFACE, THE EXISTING STRIPING IS TO BE REMOVED AND REPLACED AS SHOWN

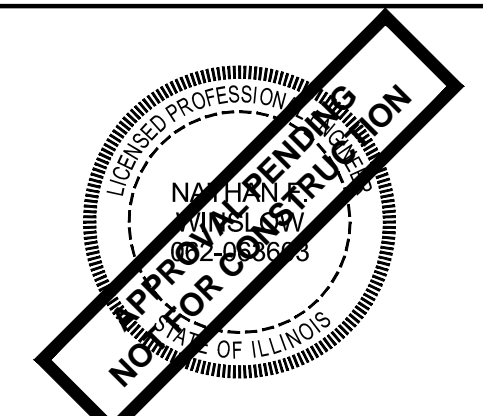
CAUTION !!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.
 1 (800) 892-0123
 CALL TOLL FREE
 - J.U.L.I.E. -

WP GLIMCHER
 225 W. WASHINGTON STREET
 INDIANAPOLIS, IN 46204

AMERICAN STRUCTUREPOINT INC.
 7260 Shadeland Station | Indianapolis, Indiana 46256
 TEL 317.547.5580 | FAX 317.543.0270
 www.structurepoint.com

LINCOLN CROSSING ACADEMY SPORTS

1574 W. HIGHWAY 50
 O'Fallon, Illinois



CERTIFIED BY

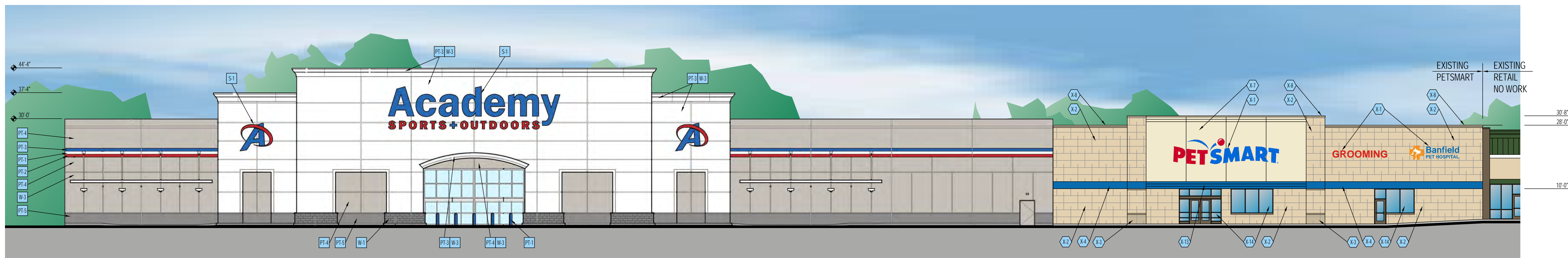
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DATE:	04-06-2015
PROJECT PHASE:	DESIGN DEVELOPMENT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2013.02324

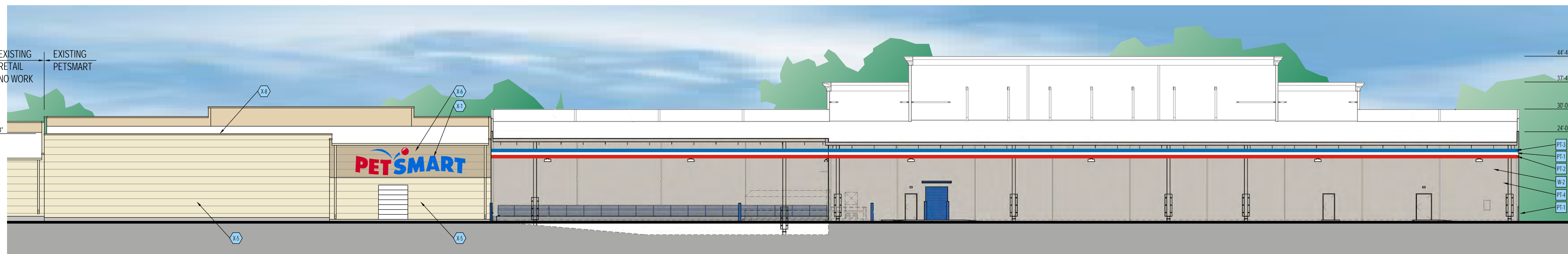
SITE PLAN

C200



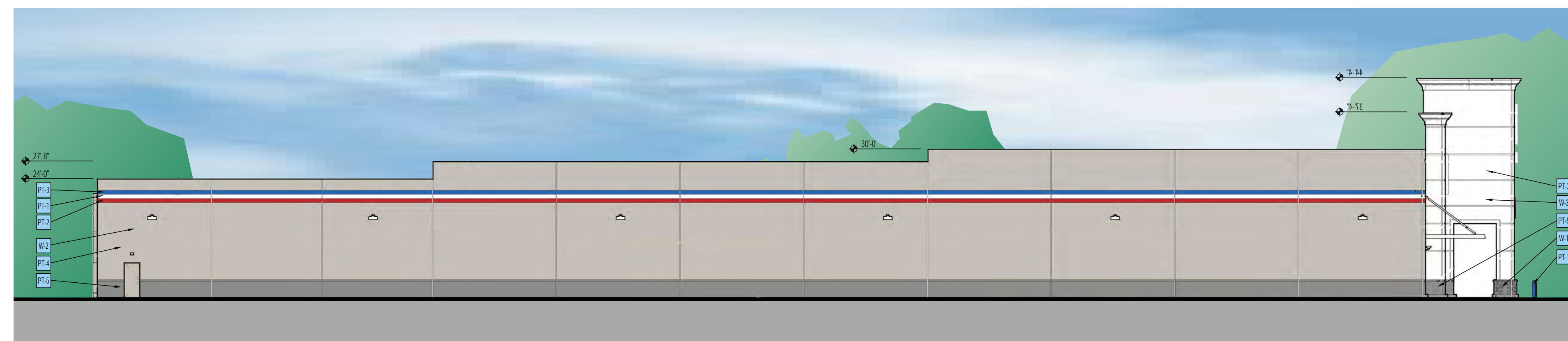
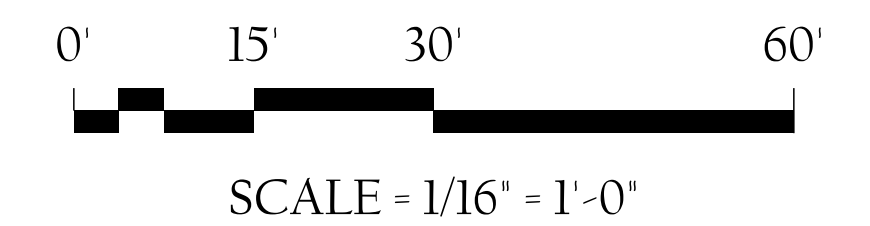
FRONT ELEVATION
SOUTH ELEVATION

PETS MART FINISHES	
X-1	EXISTING ILLUMINATED SIGNAGE WALL MOUNTED
X-2	EXISTING SPLIT FACE BLOCK MEDIUM TAN
X-3	EXISTING SPLIT FACE BLOCK DARK TAN
X-4	EXISTING SMOOTH FACE BLOCK MEDIUM BLUE
X-5	EXISTING SMOOTH FACE BLOCK LIGHT TAN
X-6	EXISTING SMOOTH FACE BLOCK MEDIUM TAN
X-7	EXISTING EIFS SYSTEM LIGHT TAN
X-8	EXISTING METAL COPING MEDIUM TAN
X-9	NEW SMOOTH FACE BLOCK LIGHT TAN - MATCH EXISTING
X-10	NEW SMOOTH FACE BLOCK MEDIUM BLUE - MATCH EXISTING
X-11	NEW SMOOTH FACE BLOCK MEDIUM TAN - MATCH EXISTING
X-12	NEW METAL COPING MEDIUM TAN - MATCH EXISTING
X-13	EXISTING EIFS SYSTEM MEDIUM BLUE
X-14	EXISTING STOREFRONT WITH GLAZING DARK BRONZE



REAR ELEVATION
NORTH ELEVATION

PROPOSED OVERALL ELEVATIONS



SIDE ELEVATION
WEST ELEVATION

ACADEMY FINISHES	
ACADEMY PAINT FINISHES	
PT-1	SW CM ACADEMY BLUE
PT-2	SW 6867 FIREWORKS
PT-3	SW 7005 PURE WHITE
PT-4	SW 7641 COLONNADE GRAY
PT-5	SW CM ACADEMY DARK GRAY
WALL MATERIAL	
W1	BURNISHED BLOCK HEADWATERS GREYSTONE 4"x8"x16" BLOCK & SILL BLOCK
W2	CONCRETE TILT WALL PANELS TEXTURED PAINT
W3	EIFS TEXTURED WALL FINISH
S-1	ILLUMINATED SIGNAGE WALL MOUNTED

PROPOSED RENOVATION OF:



LINCOLN CROSSING

1570 WEST U.S. 50
O'FALLON, ILLINOIS 62269

WASHINGTON PRIME

225 WEST WASHINGTON STREET
INDIANAPOLIS, INDIANA 46204-3438
www.simon.com

Lamson & Condon
ARCHITECTURE / INTERIOR DESIGN
(317) 266-9830
www.lamsoncondon.com

CITY SUBMITTAL
APRIL 6, 2015



1818 HWY. M
 BARNHART, MO 63012
 PH: 636-464-0200
 FAX: 636-464-9990
 WWW.PIROSSIGNS.COM
 GRAPHICS@PIROSSIGNS.COM

CUSTOMER
 LINCOLN CROSSING
 JOB LOCATION
 O'FALLON ILL
 CONTACT
 PROJECT
 PYLON REHAB
 SALES PERSON
 DAVID BRAND JR
 DATE
 01-27-15
 RENDERING #
 15-5014-1
 SCALE
 NOTED
 DRAWN BY
 BARKHURST
 SAVED AS
 LINCLN CRSSNG ENT SIGN

REVISION DATE
 020515 DMF
 REVISION(S) A

Replaced routed faces with new cabinets over existing and skinning the cabinets to appear as one. Also added lexan faces decorated with vinyls/prints.



- APPROVED AS IS
- APPROVED AS NOTED
- REVISE & RESUBMIT

INITIALS _____

THIS PROOF IS APPROVED AS IS. NO WORK SHALL BEGIN UNTIL PIROSS RECEIVES A SIGNED COPY. ANY CHANGES MAY RESULT IN A CHANGE IN THE PRICE QUOTED.

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Pylon Sign Rehab SCALE: 1/4"=1'

REFACE EXISTING STRUCTURE WITH (2) NEW ALUMINUM CABINETS SANDWICHING THE EXISTING CABINETS. THE TWO NEW CABINETS WILL BE SKINNED ON THE TOP, SIDES AND BOTTOM TO APPEAR AS A SINGLE UNIT. NEW CABINETS TO HAVE WHITE LEXAN FACES DECORATED WITH VINYL OR DIGITAL PRINTS. CLEAN PREP AND PAINT REMAINING STRUCTURE (COLORS TBD).

REPAIR AND/OR REPLACE INTERNAL LIGHTING AS NEEDED.

SIGN TO BE UL LISTED.



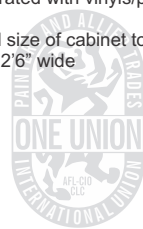
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



1818 HWY. M
 BARNHART, MO 63012
 PH: 636-464-0200
 FAX: 636-464-9990
 WWW.PIROSSIGNS.COM
 GRAPHICS@PIROSSIGNS.COM

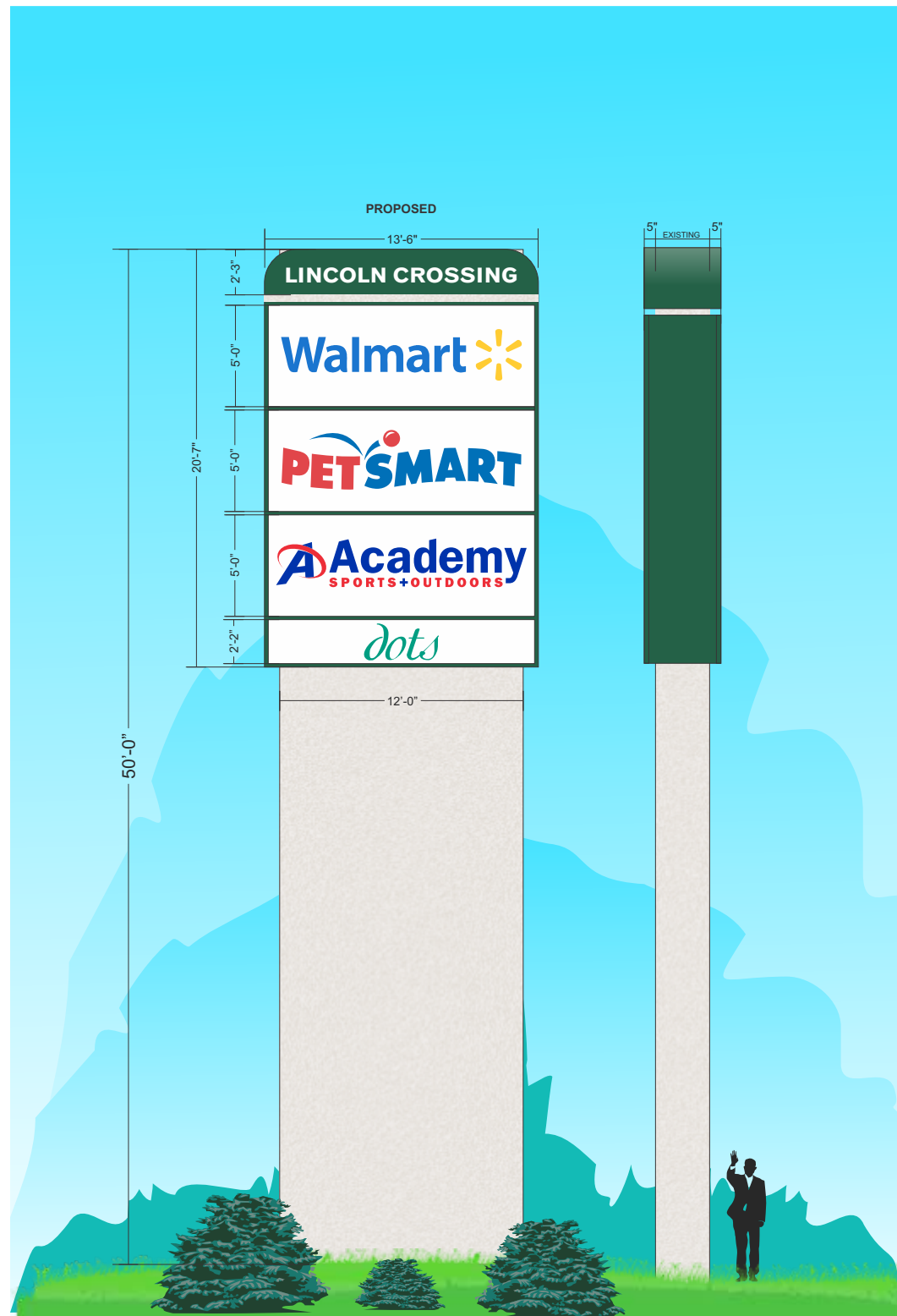
CUSTOMER
 LINCOLN CROSSING
 JOB LOCATION
 O'FALLON ILL
 CONTACT
 PROJECT
 PYLON REHAB
 SALES PERSON
 DAVID BRAND JR
 DATE
 02-06-15
 RENDERING #
 15-5014-2
 SCALE
 NOTED
 DRAWN BY
 BARKHURST
 SAVED AS
 LINCLN CRSSNG ENT SIGN

REVISION DATE
 021215 EI
 REVISION(S) B
 Replaced routed faces with new cabinets over existing and skinning the cabinets to appear as one. Also added lexan faces decorated with vinyls/prints.
 B Changed size of cabinet to make 45 OAH and 12'6" wide



APPROVED AS IS
 APPROVED AS NOTED
 REVISE & RESUBMIT

INITIALS _____
 THIS PROOF IS APPROVED AS IS. NO WORK SHALL BEGIN UNTIL PIROS RECEIVES A SIGNED COPY. ANY CHANGES MAY RESULT IN A CHANGE IN THE PRICE QUOTED.
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Pylon Sign Rehab SCALE: 1/8"=1'

REFACE EXISTING STRUCTURE WITH (2) NEW ALUMINUM CABINETS SANDWICHING THE EXISTING CABINETS. THE TWO NEW CABINETS WILL BE SKINNED ON THE TOP, SIDES AND BOTTOM TO APPEAR AS A SINGLE UNIT. NEW CABINETS TO HAVE WHITE LEXAN FACES DECORATED WITH VINYL OR DIGITAL PRINTS. CLEAN PREP AND PAINT REMAINING STRUCTURE (COLORS TBD).

REPAIR AND/OR REPLACE INTERNAL LIGHTING AS NEEDED.

SIGN TO BE UL LISTED.



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



Planned Use / Re-Zoning Application

NAME OF PROJECT: Academy Sports
ADDRESS/GENERAL LOCATION: 1574 West Highway 50
SUBDIVISION NAME & LOT NUMBER(S): Lot 1 - Subdivision of Lot 1 of the Resubdivision of Part of Lot 1 of Lincoln Crossing
PARCEL NUMBER(S): 03-26.0-201-006

PLEASE CHECK THE TYPE OF APPLICATION (PLEASE CHECK ONE):

- X PLANNED USE Amendment
o RE-ZONING (STANDARD MAP AMENDMENT)

SUMMARY DATA (RESPOND TO ALL THAT APPLY):

PRESENT ZONING: B-1(P)
PROPOSED ZONING: B-1(P)
PROPOSED # OF LOTS: 1
PROPOSED # OF DWELLING UNITS: N/A
PROPOSED NUMBER OF BUILDINGS: 1
PROPOSED GROSS FLOOR AREA: 62,943
AREA IN ACRES: 12.46
PRESENT USE: General Retail/Parking

APPLICANT INFORMATION:

NAME: Rosalyn Holderfield
COMPANY: ID Associates, Inc.
ADDRESS: 1771 Industrial Road
Dothan, AL 36303
PHONE: 334-836-1736
FAX:
EMAIL: ros@idassociatesinc.com

SIGNATURE OF APPLICANT

DESIGN PROFESSIONAL INFORMATION:

NAME: N/A
COMPANY:
ADDRESS:
PHONE:
FAX:
EMAIL:

SIGNATURE OF DESIGN PROFESSIONAL

STAFF USE ONLY
DATE RECEIVED:
APPLICATION RECEIVED BY:
APPLICATION FEE:
PROJECT ID#:
STAFF ASSIGNED:
PLAN REVIEW FEE DEPOSIT REC'D:



*Builders of
Identification
Solutions*

1771 Industrial Road
Dothan, AL 36303
Phone: 334-836-1400
Fax: 334-836-1401

October 19, 2015

City of O'Fallon City Council
O'Fallon City Hall
Community Development Department
255 South Lincoln Avenue, 2nd Floor
O'Fallon, IL 62269

RE: Letter of Intent for Sign Variance Application
Academy Sports + Outdoors
I-64 & US 50

ZONED B-1

ID Associates (representative for Academy Sports + Outdoors) is seeking relief from Article 8: Sign Regulations of City of O'Fallon Zoning Ordinance for the following items:

1. Section 158.166 (B) Wall Sign Regulations: The sign area of each such sign and the total cumulative wall signage shall not exceed 10% of the wall area of the face of the building on which the sign is attached. No individual sign shall exceed 300 Square feet in sign area.

Sign Proposal and Justification:

1. Section 158.166 (B) Wall Sign Regulations: We are proposing one wall sign "Academy Sports + Outdoors", 451.8 square feet, and two identical "A" logos, 55 square feet each for the front/south façade that faces Highway 50. The proposed square footage represents approximately 5.5% of the front wall area. The area of building façade is approx. 10,000 square feet of wall area.

The building front is setback from Highway 50 approximately six hundred (600') feet (length of two football fields) and visibility will be further hindered by the outparcels along Highway 50 frontage. The proposed signage will provide exposure to this major thoroughfare.

2. Section 158.166 (B) Wall Sign Regulations: We are proposing one wall sign "Academy Sports + Outdoors", 337.13 square feet, on the rear elevation to provide exposure to Interstate 64. The proposed square footage represents approximately 4% of the rear wall area. The area of building façade is approx. 7,800 square feet of wall area.

The building front is setback from Interstate 64 approximately six hundred (600') feet (length of two football fields) and visibility will be further hindered by the outparcels along Interstate 64 frontage. The proposed signage will provide exposure to this major thoroughfare.

Criteria Justification:

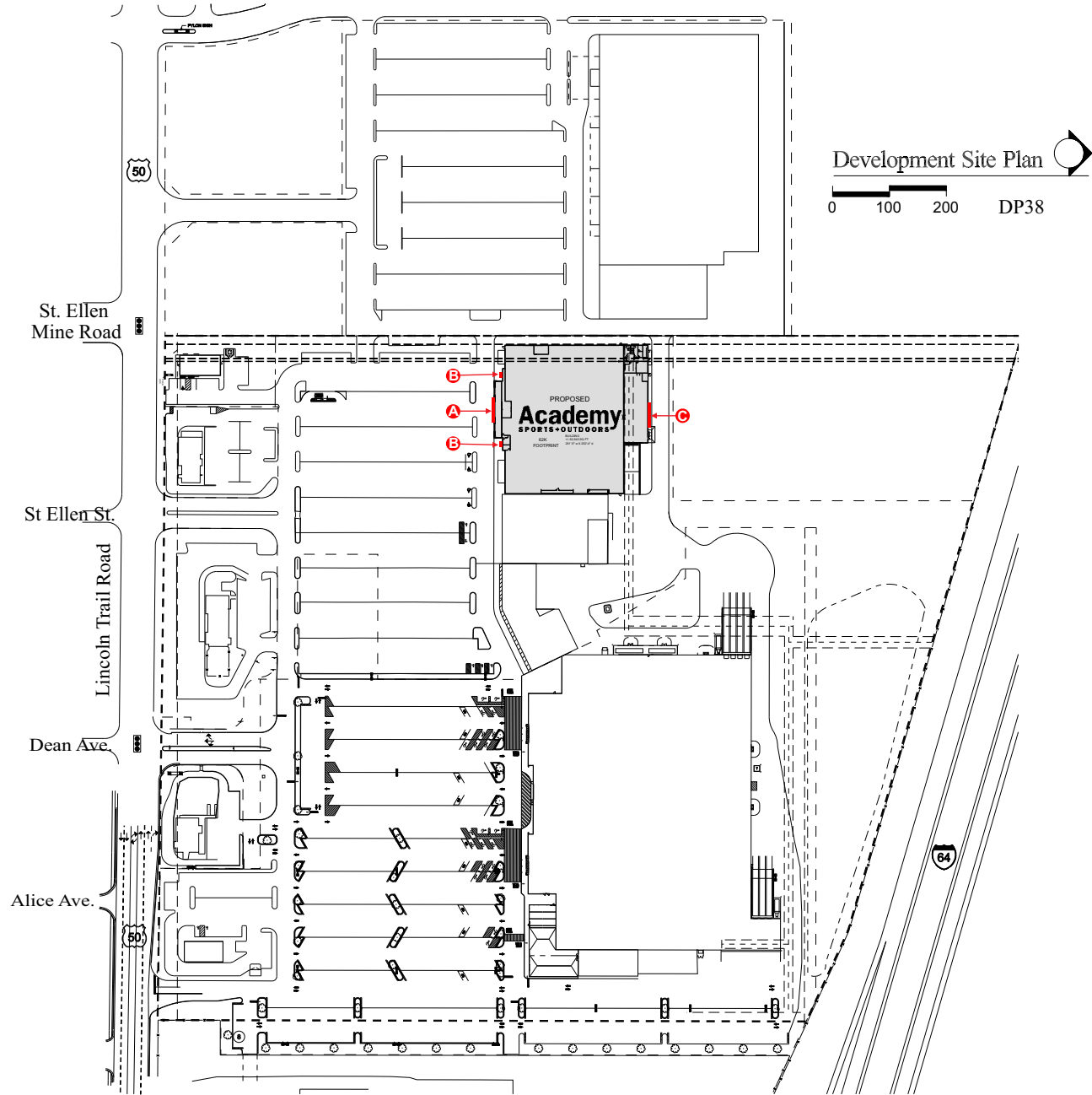
- a. Our sign request special circumstances are derived from our building size (excess of 62,000 square feet) and the wall area (approx. 10,000 square feet). We are also setback from the major roadway at approximately 600 feet.
- b. Strict application will deny our ability to adequately provide exposure to Highway 50 and potential customers.
- c. The proposed building and signs are both a part of Academy Sports + Outdoors national branding and facility size.
- d. Allowing our requested signs will not adversely affect the public health, safety or welfare (it will actually provide a safer driving experience by being able to see and read our signs); it will not alter the essential character of the neighborhood.

The Academy Sports + Outdoors building is approximately 62,000 square feet. Overall the proposed wall signs are proportioned to a building of this size and are aesthetically pleasing from the surrounding business neighborhood.

We appreciate your consideration of our sign request.

Respectfully,

Rosalyn Holderfield
ID Associates, Inc
Agent for the Applicant



DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

I.D. ASSOCIATES

1771 INDUSTRIAL ROAD · DOTHAN, ALABAMA · 36303
 PH (888) 303-5534 · FAX (334) 836-1401
 www.idassociatesinc.com



CLIENT: **ACADEMY SPORTS**

LOCATION: **O'FALLON, IL**

ACCOUNT REP: **LACY**

STORE #:

SCALE:

DRAWING #:

ACADEMY SPORTS

O'FALLON, IL

LACY

STORE #:

SCALE:

DRAWING #:

AS NOTED

ASO-O'FALLON IL-R3-VARIANCE

DRAWN BY:

DATE:

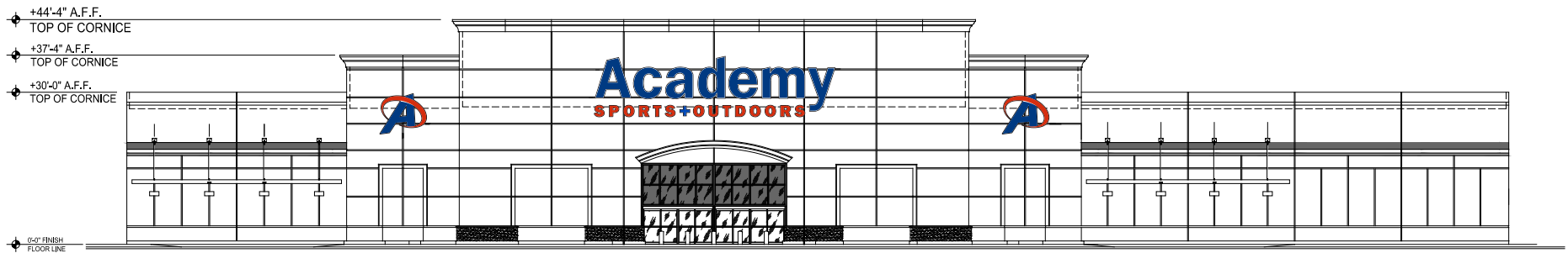
REV #:

Amy Burns

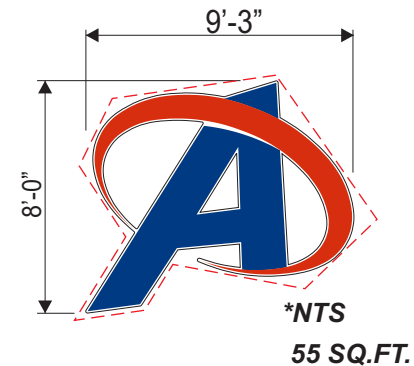
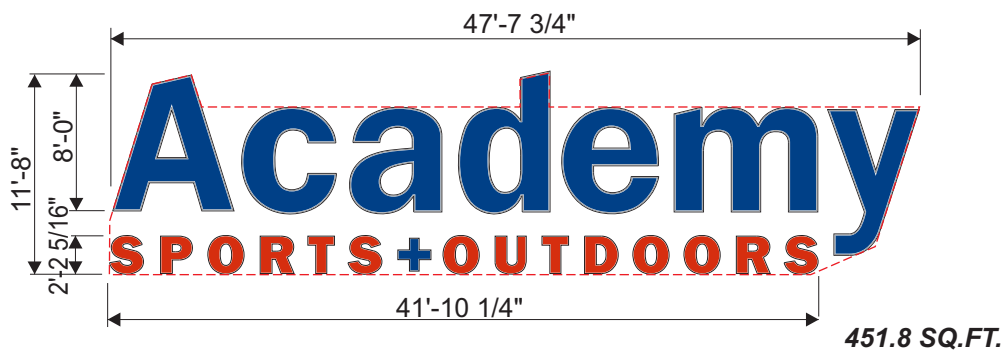
5-11-15

R3 10/19/15 DMS

REV TO REMOVE PYLON'S OFF SITE PLAN FOR VARIANCE



FRONT ELEVATION
Scale: 1/32" = 1'-0"



A **Illuminated Channel Letter Display-Stacked Format**

"ACADEMY"
FLAT POLYCARBONATE FACE
ALUMINUM CHANNEL LETTER
INTERNALLY ILLUMINATED W/ LED'S
SELF CONTAINED POWER SOURCE

"SPORTS + OUTDOORS"
FLAT POLYCARBONATE FACE
ALUMINUM CHANNEL LETTER
INTERNALLY ILLUMINATED W/ LED'S
SELF CONTAINED POWER SOURCE

B **Illuminated Logo Cabinet Display**

"LOGO"
FLAT POLYCARBONATE FACE
ALUMINUM CHANNEL LETTER-INTERNALLY ILLUMINATED
W/ TETRA MAX WHITE LED
SELF CONTAINED POWER SOURCE

561.8 TOTAL SFT

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

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CLIENT:	ACADEMY SPORTS
LOCATION:	O'FALLON, IL
ACCOUNT REP:	LACY

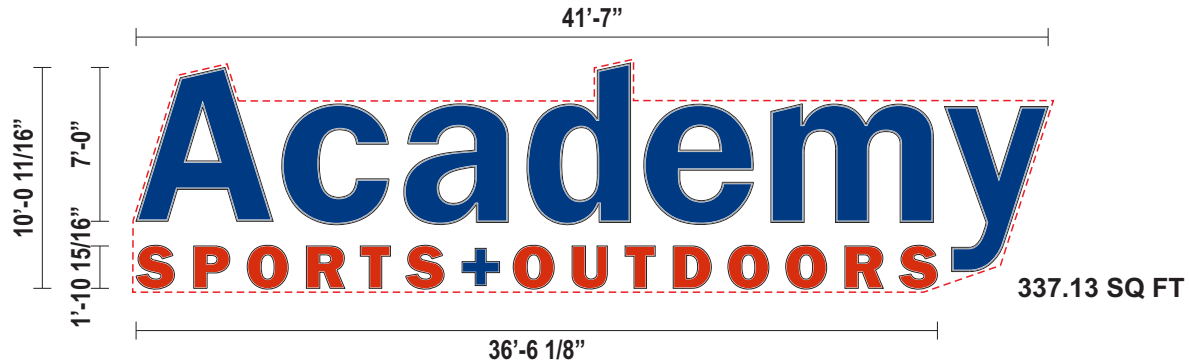
STORE #:	
SCALE:	AS NOTED
DRAWING #:	ASO-O'FALLON IL-R3-VARIANCE

DRAWN BY:	<i>Amy Burns</i>
DATE:	5-11-15
REV #:	R3 10/19/15 DMS NO CHANGES TO THIS PAGE. REV TO REMOVE PYLON PAGES



REAR ELEVATION

Scale: 1/32" = 1'-0"



Illuminated Channel Letter Display-Stacked Format

“ACADEMY”
 FLAT POLYCARBONATE FACE
 ALUMINUM CHANNEL LETTER
 INTERNALLY ILLUMINATED W/ LED'S
 SELF CONTAINED POWER SOURCE

“SPORTS + OUTDOORS”
 FLAT POLYCARBONATE FACE
 ALUMINUM CHANNEL LETTER
 INTERNALLY ILLUMINATED W/ LED'S
 SELF CONTAINED POWER SOURCE

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

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CLIENT:	ACADEMY SPORTS	STORE #:		DRAWN BY:	<i>Amy Burns</i>
LOCATION:	O'FALLON, IL	SCALE:	AS NOTED	DATE:	5-11-15
ACCOUNT REP:	LACY	DRAWING #:	ASO-O'FALLON IL-R3-VARIANCE	REV #:	R3 10/19/15 DMS NO CHANGES TO THIS PAGE, REV TO REMOVE PYLON PAGES



1 PROPOSED BUILDING FRONT
OFF US 50

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

I.D. ASSOCIATES

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PH (888) 303-5534 · FAX (334) 836-1401
www.idassociatesinc.com



CLIENT: ACADEMY SPORTS

LOCATION: O'FALLON, IL

ACCOUNT REP: LACY

STORE #:

SCALE:

DRAWING #:

ASO-O'FALLON IL-VS-VARIANCE PAGE

DRAWN BY: *Amy Burns*

DATE: 9-30-15

REV #: R3 10/08/15 DMS
REV TO MAKE PAGE SEPARATE FOR VARIANCE

NONE

Justin Randall

From: Stephen deRiesthal <Stephen.deRiesthal@wpglimcher.com>
Sent: Tuesday, November 03, 2015 9:07 AM
To: Justin Randall
Subject: Academy Sign Variance - Lincoln Crossing

Justin....This note acknowledges that Landlord is aware of and approves of Academy's request related to the square footage of sign area for its planned store in Lincoln Crossing. Please note that when Landlord pursued the previously approved variance related to Academy signage, our focus was on the approval of the number of signs on the building and not the required square footage of such signage by Academy.

Thank you for your continued assistance with the project. Steve

STEPHEN T. DERIESTHAL

Vice President – Development, CLC Division

WP GLIMCHER

225 W. Washington Street

Indianapolis, IN 46204

(w) 317-263-7152

(m) 317-437-8783

(f) 317-263-2363

stephen.deriesthal@wpglimcher.com

wpglimcher.com

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CITY COUNCIL AGENDA ITEM

To: Mayor Graham and City Council

From: Ted Shekell, Community Development Director
Walter Denton, City Administrator

Date: December 7, 2015

Subject: P2015-16: Academy Sports, Planned Use – 1st Reading

List of committees that have reviewed: The Planning Commission held a public hearing on the above referenced application at their November 10, 2015 meeting. The Commission voted 8-ayes and 0-nays to approve the requested Amended Planned Use application for Academy Sports, subject to the conditions recommended by staff. The Community Development Committee reviewed the amended planned use at its November 23, 2015 meeting and recommended approval with a vote of 6-ayes to 0-nays.

Background

In April of 2015, Lincoln Crossing, LLC filed an application requesting a planned use for a parcel of land at 1574 West Highway 50 zoned B-1(P), Planned Community Business District for the construction of a new 62,943 square foot Academy Sports sporting goods store. The planned use was approved as presented to the Planning Commission and City Council. However, as final design of the building proceeded, the developer and sign consultants for the project realized the previous submittal incorrectly indicated their sign package would meet the sizing requirements of the City's codes. As indicated by the previous submittal and email from the developer, they were focused on getting the number signs allowed on the building and not the required square footage of the signage required by Academy Sports.

Please see the attached Plan Commission Project Report for more detailed information on the proposal.

Legal Considerations, if any: None

Budget Impact: None

Staff Recommendation: Staff recommends approval of the amended planned use, with the following conditions:

1. A variance to allow the parking lot to be striped according to the site plan and allowing the parking lot to remain as constructed, in terms of existing landscape islands and lighting (previously approved).
2. A variance to allow the front elevation to have three wall signs (previously approved).
3. A variance to allow 561.8 square feet on the front elevation (facing Highway 50) and 337.13 square feet on the rear elevation (facing Interstate 64) (current request).



**DRAFT MINUTES
COMMUNITY DEVELOPMENT COMMITTEE
5:30 PM Monday, December 14, 2015**

Minutes of a regular meeting of the Community Development Committee of the City of O'Fallon, held at the Public Safety Building, 285 N. Seven Hills Road, O'Fallon, Illinois.

CALL TO ORDER: 6:00 PM

- I) Roll Call – *Committee members:*** Jerry Albrecht, Gene McCoskey, Ray Holden, Harlan Gerrish, David Cozad and Jerry Mouser. *Other Elected Officials Present:* Herb Roach, Matt Smallher Kevin Hagarty and Ned Drolet. *Staff:* Walter Denton, Ted Shekell, Jim Cavins, Keith Townsend and Justin Randall. *Visitors:* Vern Malare, Charlie Pitts, Darwin Miles, Terry Johnson, Eric Sigurdson, and Bob Dunn.
- II) Approval of Minutes from Previous Meeting –** All ayes. Motion carried.
- III) Items Requiring Council Action**
 - A. Bethel Farms – Phase 1 – Final Plat – Justin Randall provided an overview of the request to have the first phase of Bethel Farms final plat approved. Randall indicated that the final plat consisted of 44 single family lots on 46.5 acres. The proposed first phase is a part of a larger 101.17 acre development with a proposed 101 single-family lots. Shekell indicated the details of the final off-site improvement for sanitary sewer were still being discussed to determine whether the utilities should be upsized to accommodate future growth in the area. The committee discussed the final plat and recommended the final plat for approval with a vote of 6-ayes to 0-nays
 - B. Tim Horton's & Reliance Bank – Planned Use (1st Reading) – Justin Randall provided an overview of the request for a planned use for Tim Horton's and Reliance Bank at 450 Regency Park. Randall presented information on the access parking and drive-thru for the site. The committee discussed the potential need of the second drive-thru for the development and the parking off-site at the conference center. Eric Sigurdson of Show Me Hospitality informed the committee that the St. Louis market is seeing a more equal split of sit down and drive-thru, so they are initially going to invest in a large seating area. Mr. Sigurdson did indicate the second drive-thru would be wired and could be put in if necessary within 30-45 days. The committee discussed the planned use and recommended the planned use, subject to the conditions stated in the staff report for approval with a vote of 6-ayes to 0-nays
 - C. Kurtz Zoning Amendment & Minor Subdivision (2nd Reading) – Justin Randall indicated to the committee there was no change for second reading of the rezoning ordinance.
 - D. Stone Bridge Estates – Amended Planned Use (2nd Reading) – Justin Randall indicated to the committee there was no change for second reading of the amended planned use ordinance.
 - E. Academy Sports – Amended Planned Use (1st Reading) – Justin Randall indicated to the committee there was no change for second reading of the amended planned use ordinance.
- IV) Other Business - None**

MEETING ADJOURNED: 6:45 PM

NEXT MEETING: December 28, 2015 – Public Safety Building

Prepared by: Justin Randall, Senior City Planner

Community Development Department
255 South Lincoln Avenue O'Fallon, IL 62269 ♦ P: 618.624.4500 x 4 ♦ F: 618.624.4534

[https://ofallonil-my.sharepoint.com/personal/mfair_ofallon_org/Documents/Documents/mfdocs/Community Development 2015/151214CDMinutes.docx](https://ofallonil-my.sharepoint.com/personal/mfair_ofallon_org/Documents/Documents/mfdocs/Community%20Development%202015/151214CDMinutes.docx)



PUBLIC SAFETY

December 14, 2015, 5:00 p.m.

**5:00 p.m. Public Safety Building Community Room
A G E N D A**

- I. Call to Order
- II. Quorum Determination
- III. Approval of minutes dated November 9, 2015
- IV. New Business Requester
Replacement Ambulance Chief Van Hook
- V. Old Business
Crime Free Housing Ordinance Chief Van Hook
No Parking Ordinance Chief Van Hook
- VI. Next Meeting – January 11, 2016
- VII. Adjournment

General Citizen Comments: The City of O'Fallon welcomes comments from our citizens. The Illinois Open Meetings Act provides an opportunity for citizens to speak at all committee and Board meetings. However, 5 ILCS 120/1 mandates that NO action shall be taken on matters not listed on the agenda. Please submit your name to the chairman and limit your comments so that anyone present has the opportunity to speak.



Public Safety Committee Minutes
December 14, 2015 5:00 p.m.

Minutes of a regular meeting of the Public Safety Committee of the City of O'Fallon, held in the Community Room, Public Safety Building, 285 N. Seven Hills Road, O'Fallon, Illinois, December 14, 2015. Call to order 5:00 p.m.

ROLL CALL:

Members Present: Marsh, Hagarty, Drolet, Kueker, Roach, Smallheer
Members Not Present:
Staff Liaison: Chief Van Hook - OPD, Chief Brent Saunders - OFD
Other Aldermen Present Albrecht, Cozad, Gerrish, Holden, McCoskey,
Other Persons Present Walter Denton – City Administrator; Mark Berry – OPD;
James Cavins – OPD;
Keith Townsend – OPD; Jeff Wild – EMS; Jeremy Sherman – EMS; Marty Nunguesser –
EMS; Vern Malare – Resident; Charlie Pitts – Resident; Rick
Reckamp – Resident; Misty McDonald - OPD;
Media Persons Present: None

Chairwoman Marsh declared a quorum present and requested a Motion to approve the Minutes of November 9, 2015 Alderman Hagarty made a Motion to accept the minutes of November 9, 2015 as presented and Alderman Kueker seconded the Motion. All Ayes.

New Business

Item 1. Replacement Ambulance – Chief Van Hook stated that EMS had an ambulance that was involved in an accident on US Highway 64. The vehicle had over 200,000 miles and was scheduled to be replaced in the next budget year. Chief stated that there is currently enough money in the reserves to make a purchase. Normal bid process takes one month and once a bid is accepted an additional 6-9 months to build. This would leave us down an ambulance for 7–10 months. Chief recommends that we make a purchase now instead of going through the formal bid process. The reasons are: when one ambulance is in for repairs we do not have a backup, we have a bid for less than other bids if we accept we can get this ambulance by late April or early May, and we need to add a critical care unit which this current bid has included.

Action: Request to take to council for a vote to get an approval to purchase an ambulance.

Motion: A motion was made by Alderman Smallheer to take to council for an approval to purchase a new ambulance and seconded by Alderman Roach. All ayes.

Disposition: Closed

Item 2. High School Students parking – It has been brought to the attention of the Public Safety Committee that high school students are not parking in the designated parking lots offered by the schools to the students. We have had several complaints from residents of excess parking on the roads. Currently the students are parking on Jamestown.

Action: None

Motion: None

Disposition: Closed

Item 2. Crosswalk at E. Wesley Drive & Seven Hills Road – It has been requested to looking into the possibility of adding a crosswalk at E. Wesley Drive at the intersection of Seven Hills Road. Many residents use this area to cross Seven Hills Road to get to the YMCA.

Action: None

Motion: None

Disposition: Closed

Old Business

Item 1. No Parking Ordinance Hill Top Lane – Chief Van Hook stated that the City has determined it is in the best interest of its residents that Hilltop Lane be designated as no parking. If cars are parked on the side of the street on Hill Top it makes it impossible for any large truck to pass through the neighborhood. This would enable fire truck to pass through to get to a fire response call.

Action: This item will go for a second reading at the Council Meeting dated December 21, 2015

Motion: None

Disposition: Closed

Chairwoman Marsh asked if anyone had any other New Business not on the Agenda, hearing no New Business, Chairwoman Marsh called for a Motion to adjourn. A Motion to adjourn was made by Alderman Hagarty and Alderman Drolet seconded the Motion. All eyes.

Meeting Adjourned:

Next PS Meeting:

Minutes Taken By:

5:31 p.m.

January 11, 2016 5:00 p.m.

Misty McDonald



CITY COUNCIL AGENDA ITEMS

To: Mayor Graham and City Council
From: Eric Van Hook, Chief of Police
Walter Denton, City Administrator
Date: December 21, 2015
Subject: Purchase of a 2016 Ford F-450 Ambulance

List of committees that have reviewed: Public Safety

Background:

On November 17, 2015, O'Fallon EMS Ambulance 4345 was involved in a traffic crash which resulted in the ambulance being "totaled". This was a reserve ambulance and was scheduled to be replaced in FY2017. Currently O'Fallon EMS deploys two ambulances daily, so now there is only one reserve ambulance. During times of maintenance there would not be a reserve ambulance available for the district.

The normal bid process would take approximately one month, and once a bid was accepted it would be an additional 6-9 months to build the ambulance. As a result the district would be down an ambulance for 7-10 months. This would have an impact on patient care, especially during the summer months when our call volume increases along with the requests for EMS services at community events.

Research was conducted to determine if any vendors had an ambulance in stock that would meet O'Fallon EMS specifications. Foster-Coach, Lifeline and Osage Ambulance were contacted and provided our specifications and timeline (on or before May 1, 2016) for receipt of the ambulance. The following information was obtained:

1. Osage has a "Demo" ambulance in stock that met our specifications and timeline. The Bid Price is \$225,000.00 which requires payment in full at the time of delivery. The caveat to their offer required confirmation of the City's intent to purchase ambulance by December 14, 2105.
2. Foster Coach was able to meet our specifications but not our timeline. It would be approximately 60 days beyond the required timeline and the cost was \$242,000.00.

3. Lifeline indicated it would take them at least 10 months to build an ambulance to our specifications, so they were not interested in providing a bid to the City.

As a matter of public safety, I am requesting authorization to forgo the normal bid process and purchase the ambulance provided by Osage Ambulance in the amount of \$225,000.00.

Legal Considerations, if any: None

Budget Impact: \$225,000.00 from EMS Reserves will be used to pay Osage Ambulance at the time of delivery.

Staff recommendation: Approval.

MEMO

To: City Clerk, Phil Goodwin
Finance Committee:
Mike Bennett, Chair
Jerry Albrecht – Vice Chairman
Ned Drolet
Bob Kueker
Gene McCoskey
Herb Roach
Matt Smallheer

From: Patricia Diess
Date: December 18, 2015
Subject: Invoices for December 21, 2015
Amount: \$645,127.96
Warrant: #339

Attached, for the Finance Committee's and the City Council's approval, is the bills list for December 21, 2015 in the amount of \$634,930.88 as well as \$6,475.00 for Seasonal Park Payments, \$900.00 for Parks Refunds and \$2,822.08 Utility Billing Refunds. If you have any questions or should need further information, please let me know.

Copy: Sandy Evans
City Council
Mayor Graham

CITY OF O'FALLON

BILL LIST FOR December 21, 2015
Warrant #339

The Mayor and the City Council of the City of O'Fallon, Illinois, hereby approve the attached list of bills and authorize the Director of Finance to forward payment on the 22nd of December, 2015. The Office of Finance is hereby authorized to borrow from any fund having an excess cash balance to pay the bills for any fund having a cash deficit.

Gary Graham, Mayor

ATTEST:

Philip Goodwin, City Clerk

	A	B	C	D	E
1	AP Warrant FY 2016				
2	Invoice Due Date.Date mm-dd-yyyy	12/22/2015			
3					
4	Invoice Amount				
5	Vendor Name	Invoice Number	Invoice Description	Date mm-dd-yyyy	Total
6	Absopure Water Co	55452988	Strts-Lease Payment	11/30/2015	\$5.00
7	Absopure Water Co Total				\$5.00
8	Advertiser Press Co	11245-11301	PD/EMS-7 sets of business cards	12/15/2015	\$266.00
9		11315	FD-Business Cards/Harris, Erick	12/04/2015	\$50.00
10	Advertiser Press Co Total				\$316.00
11	Airgas USA LLC	9046012817	EMS-oxygen cylinder	12/02/2015	\$108.93
12	Airgas USA LLC Total				\$108.93
13	All Saints Academy	121715	Pks/Rec-Tournament Registration, 3rd Grade Boys Jr Panthers	12/17/2015	\$125.00
14	All Saints Academy Total				\$125.00
15	Allegra Print & Imaging	4324	EMS-shift schedule calendars (50) & design	12/03/2015	\$101.19
16	Allegra Print & Imaging Total				\$101.19
17	Al's Automotive Supply Inc	05GL3829-Dr	FD-Repaying Credit Already Taken on Another Acct	10/23/2015	\$17.47
18	Al's Automotive Supply Inc Total				\$17.47
19	Alsup Traditional Yang Style Tai Chi	6058	Pks/Rec-Tai Chi (December)	12/15/2015	\$86.45
20	Alsup Traditional Yang Style Tai Chi Total				\$86.45
21	AMD Paper Service	1201-013116	EconDev-Subscription Renewal	11/01/2015	\$33.10
22	AMD Paper Service Total				\$33.10
23	Ameren Illinois	1101-120115	Strts-Street Light Charges	12/04/2015	\$41.88
24		IPMS131047	Pks/Rec-Hesse Park Lights	11/27/2015	\$3,690.00
25	Ameren Illinois Total				\$3,731.88
26	AmerenIP	1015-111615	Monthly Utilities	12/04/2015	\$63,597.38
27	AmerenIP Total				\$63,597.38
28	American Legal Publishing Co	0108001	ADM-internet hosting renewal 2016	12/10/2015	\$350.00
29		107793	Admin-November 2015 S-2 Editing	11/30/2015	\$462.00
30		42.90	Admin-November 2015 S-2 Folio/Internet Editing	11/30/2015	\$42.90
31	American Legal Publishing Co Total				\$854.90
32	American Litho	121415	EconDev-postage Winter brochure mailing	12/14/2015	\$3,078.17
33	American Litho Total				\$3,078.17
34	APA-St Louis Metro Section	120815	CDD-Membership Dues	12/08/2015	\$155.00
35	APA-St Louis Metro Section Total				\$155.00
36	Aramark Uniform Services	452-0096497	PD/EMS-Mat Service	08/13/2015	\$37.20
37		452-0121892	3568 - Aramark Uniform Services	08/20/2015	\$37.20
38		452-0147262	3568 - Aramark Uniform Services	08/27/2015	\$37.20
39		452-0172633	3568 - Aramark Uniform Services	09/03/2015	\$37.20
40		452-0198041	3568 - Aramark Uniform Services	09/10/2015	\$37.20
41		452-0223448	3568 - Aramark Uniform Services	09/17/2015	\$37.20
42		452-0248764	3568 - Aramark Uniform Services	09/24/2015	\$37.20
43		452-0274146	3568 - Aramark Uniform Services	10/01/2015	\$37.20

	A	B	C	D	E
44	Aramark Uniform Services	452-0300894	3568 - Aramark Uniform Services	10/08/2015	\$37.20
45		452-0326323	3568 - Aramark Uniform Services	10/15/2015	\$37.20
46		452-0351650	3568 - Aramark Uniform Services	10/22/2015	\$37.20
47		452-0376920	3568 - Aramark Uniform Services	10/29/2015	\$37.20
48		452-0402273	3568 - Aramark Uniform Services	11/05/2015	\$37.20
49		452-0427695	3568 - Aramark Uniform Services	11/12/2015	\$37.20
50		452-0452990	3568 - Aramark Uniform Services	11/19/2015	\$37.20
51		452-0478186	PD,EMS-Mat Service Balance	11/26/2015	\$34.28
52		452-0503495	3568 - Aramark Uniform Services	12/03/2015	\$37.20
53		452-0528730	PD/EMS-Mat Service	12/10/2015	\$37.20
54		792-401393Cr	PD/EMS-Mat Svc Credit per Jerry Grider	08/07/2015	-\$560.92
55	Aramark Uniform Services Total				\$105.76
56	Arrow Fabricare Services	801736	FD-Fire Gear	10/28/2015	\$255.80
57		801738	FD-Fire Gear	10/27/2015	\$288.20
58		801739	FD-Fire Gear	10/27/2015	\$265.20
59	Arrow Fabricare Services Total				\$809.20
60	AT&T	5173520307	171-796-1027 322	11/28/2015	\$1,884.67
61	AT&T Total				\$1,884.67
62	Auffenberg Dealer Group	79917	PW-relay on unit #12	12/08/2015	\$47.20
63		79959	PW-blade assembly #62	12/11/2015	\$19.96
64	Auffenberg Dealer Group Total				\$67.16
65	Azavar Audit Solutions Inc	11505	Adm-contingency pymt Nov 14-Apr 15	11/30/2015	\$13,573.16
66	Azavar Audit Solutions Inc Total				\$13,573.16
67	Bank of New York	252-1910359	Special Service Area #1 (12/01/15-11/30/16)	12/04/2015	\$750.00
68		252-1910360	Special Service Area #2 (12/01/15-11/30/16)	12/04/2015	\$790.00
69		252-1910361	Special Service Area #4 (12/01/15-11/30/16)	12/04/2015	\$750.00
70	Bank of New York Total				\$2,290.00
71	Baxter Farms and Nurseries	367	P/R-tulip tree (3)	11/20/2015	\$405.00
72	Baxter Farms and Nurseries Total				\$405.00
73	Bel-O Cooling & Heating Inc	85941	FD-Filters, Fire Station 4	12/03/2015	\$168.00
74	Bel-O Cooling & Heating Inc Total				\$168.00
75	Ben Meadows Company	SI02110170	P/R-brushpants for rock spring prairie mtce	12/02/2015	\$110.50
76	Ben Meadows Company Total				\$110.50
77	Bloomberg Businessweek	121815	CDD-New Subscription, Acct 052015629800	12/18/2015	\$30.00
78	Bloomberg Businessweek Total				\$30.00
79	Bob Ridings Inc	F16181	2016 Ford F450 Regular Cab 4 x 4 Chassis	12/15/2015	\$44,890.00
80		F16181B	Pks/Rec-Equip Added to 2016 F450	12/15/2015	\$5,955.00
81	Bob Ridings Inc Total				\$50,845.00
82	Bound Tree Medical LLC	81970253	PD-Medical Supplies	11/13/2015	\$94.22
83		81978429	EMS-Medical Supplies	11/23/2015	\$386.38
84	Bound Tree Medical LLC Total				\$480.60
85	Bruckert, Gruenke & Long PC	4686	CDD-Central City TIF	12/02/2015	\$135.00
86		4687	PD-Conduct Tow Hearings	12/02/2015	\$105.00

	A	B	C	D	E
87	Bruckert, Gruenke & Long PC	4688	CDD-Estate of Peter Sanborn, Elm St House	12/02/2015	\$327.50
88	Bruckert, Gruenke & Long PC Total				\$567.50
89	BSN Sports Collegiate Pacific	97444386	Pks/Rec-Baseballs, Rec Equipment	12/03/2015	\$2,162.84
90	BSN Sports Collegiate Pacific Total				\$2,162.84
91	Busters Tire Mart	38828	EMS-labor to mount tires & dispose	11/19/2015	\$180.00
92	Busters Tire Mart Total				\$180.00
93	Butler Supply Co	12214233	WWTP-Beam Clamp, Handy Box, Screw Conn Set, Cover, Nylon Duplex	11/25/2015	\$119.24
94		12214234	WWTP-Freight	11/25/2015	\$88.00
95		12225185	PW-lightbulbs for treatment plant	12/08/2015	\$76.92
96	Butler Supply Co Total				\$284.16
97	Casper Stolle Quarry	995186	Swr-Rock	12/02/2015	\$148.70
98		995187	Wtr-Rock	12/02/2015	\$150.06
99	Casper Stolle Quarry Total				\$298.76
100	Cee Kay Supply Inc	1394009	Wtr-argon & oxygen	11/30/2015	\$21.14
101		3727637	P/R-cutting torch	12/07/2015	\$327.23
102	Cee Kay Supply Inc Total				\$348.37
103	Charter Communications	1126-122515	PD/EMS-Acct 8345 78 225 0024452 Pmt	11/18/2015	\$131.00
104		1130-122915	PD/EMS-Acct 8345 78 225 0259918 Pmt	11/20/2015	\$81.20
105		1208-010716	Strts,Wtr-Acct 8345 78 225 0099975 Pmt	12/01/2015	\$14.76
106		1208-010716B	FD-Acct 8345 78 225 0076569 Pmt	12/01/2015	\$38.39
107	Charter Communications Total				\$265.35
108	Chevy Chase Apartments	111915	CDD-Crime Free License Overpayment	11/19/2015	\$5.00
109	Chevy Chase Apartments Total				\$5.00
110	Chick-fil-A Inc	112815	Sportspark-Concession Foods (169 Sandwiches)	11/28/2015	\$422.50
111	Chick-fil-A Inc Total				\$422.50
112	Choice1 Health Care Services LLC	4297	EMS-glucometer strips	11/05/2015	\$149.70
113	Choice1 Health Care Services LLC Total				\$149.70
114	Christ Bros Products LLC	10092	Strts-Surface LEB	11/30/2015	\$173.36
115	Christ Bros Products LLC Total				\$173.36
116	Christ Truck Svc Inc	15585	P/R-13.5 yards mulch	11/14/2015	\$377.50
117		15595	Cemetery-16.39 ton rock hauling & handling	11/16/2015	\$274.54
118	Christ Truck Svc Inc Total				\$652.04
119	City of Bloomington	120815	CDD-12/2/15 IPOC Meeting/Jerry McNulty & Jeff Stehman	12/08/2015	\$80.00
120	City of Bloomington Total				\$80.00
121	CityTech USA Inc	2589	EconDev-Public Salary Annual Membership	12/01/2015	\$390.00
122	CityTech USA Inc Total				\$390.00
123	CK Power Products Corp	SI082505	FD-Fuel Filter	12/04/2015	\$22.90
124	CK Power Products Corp Total				\$22.90
125	Cletes Auto Repair	83915	PD-Svc on 2012 Dodge Charger, Unit 20	11/19/2015	\$989.98
126		83934	PD-Svc on 2014 Ford Explorer, Unit 43	11/19/2015	\$168.82
127		83935	PD-Svc on 2011 Crown Victoria, Unit 64	11/20/2015	\$365.52
128		83978	PD-Svc on 2013 Dodge Charger, Unit 18	11/30/2015	\$1,121.68
129		84206	PD-13 chevy tahoe replace brake & pad	12/09/2015	\$629.02

	A	B	C	D	E
130	Cletes Auto Repair	84210	PD-11 ford crown vic spark plug,fuel induction,trans flush	12/09/2015	\$753.30
131		84256	EMS-oil, lube, filter	12/14/2015	\$44.99
132	Cletes Auto Repair Total				\$4,073.31
133	Commerce Bank	CS112715-1	FD-Fire Prevention Refreshments	10/31/2015	\$19.90
134		CS112715-2	FD-Handle-WDO Regulator Blk, Surge Tank Cap	11/03/2015	\$127.32
135		DG112715-1	IT-Survace Book, 2Yr Warranty, Sleeve, Tablet, Warranty, Cover	11/03/2015	\$3,471.94
136		DG112715-2	IT-After Conference Dinner/Chad & Dan	11/09/2015	\$23.07
137		DG112715-3	IT-October Pager Duty Callout	11/11/2015	\$108.00
138		DG112715-4	IT-Help Desk Annual Support	11/16/2015	\$1,287.00
139		DG112715-5	IT-Visio for Office 365 Subscription	11/20/2015	\$56.88
140		GG112715-1	Admin-Book	11/06/2015	\$18.78
141		MAF112715-1	PD-License Plate Renewal	11/02/2015	\$103.25
142		MAF112715-2	CC-Airfare, Travel Ins, Shuttle (To & From Airport)	11/20/2015	\$407.08
143		MJH112715-1	Pks/Rec-IPRA Conference	10/30/2015	\$340.00
144		MJH112715-2	Pks/Rec-Cookies/Focus Group, SIPRA Host	11/04/2015	\$51.10
145		MJH112715-3	Pks/Rec-Food/Focus Group Public Meeting	11/04/2015	\$77.42
146		MJH112715-4	Pks/Rec-Focus Group Bagel Pack	11/05/2015	\$23.18
147		MJH112715-5	Pks/Rec-Focus Group Lunch	11/05/2015	\$24.03
148		MJH112715-6	Pks/Rec-SIPRA Meeting Host Food	11/05/2015	\$358.10
149		MJH112715-7	Pks/Rec-Office Supplies	11/05/2015	\$39.91
150		MJH112715-8	Pks/Rec-Print Ink, Office Supplies	11/06/2015	\$430.59
151		MS112715-1	Lib-Canva for Work Yearly	10/29/2015	\$119.40
152		MS112715-2	Lib-Computer Services	11/01/2015	\$221.00
153		MS112715-3	Lib-iStock Credits	11/03/2015	\$115.00
154		MS112715-4	Lib-Luncheon Meeting	11/20/2015	\$30.98
155		SE112715-1	Admin-Wall St Journal	10/29/2015	\$32.99
156		TC112715-1	FD-TV, Mount	11/21/2015	\$199.96
157		TD112715-1	IT-Microsoft ARC Touch Mouse, Canvio Connect II HD, Memory Card	11/13/2015	\$144.97
158		TD112715-2	IT-Power Amplifier	11/18/2015	\$179.95
159		WD112715-01	EconDev-St Louis Journal Subscription	11/02/2015	\$163.00
160	Commerce Bank Total				\$8,174.80
161	Communication Revolving Fund	T1614560	PD-Communication Charges	11/16/2015	\$1,483.32
162	Communication Revolving Fund Total				\$1,483.32
163	CompassCom Software Corp	3222	PW-GPS Software License	07/20/2015	\$23,820.00
164	CompassCom Software Corp Total				\$23,820.00
165	Cunningham, Vogel & Rost PC	89484	Tower Leases	09/30/2015	\$2,182.50
166		89535	Tower Leases	10/31/2015	\$2,520.00
167		89623	Tower Leases	11/30/2015	\$3,046.50
168	Cunningham, Vogel & Rost PC Total				\$7,749.00
169	Datamax Office Systems	1050322	Contract CN6537-01	12/07/2015	\$9.67
170		1055966	Contract CN1970-01	12/14/2015	\$181.87
171	Datamax Office Systems Total				\$191.54
172	Datamax STL Leasing	L306309027	IT Plotter Lease	12/05/2015	\$254.56

	A	B	C	D	E
173	Datamax STL Leasing	L403083013	Lease 4-03083	12/15/2015	\$169.35
174	Datamax STL Leasing Total				\$423.91
175	Dave Schmidt Truck Svc	P43267	FD-Sensor	12/02/2015	\$91.43
176		T79994	FD-Svc on 2013 Spartan, Unit 4329	11/05/2015	\$323.25
177		T80073	EMS-Svc on 2013 International, Unit 4335	11/19/2015	\$1,277.90
178		T80142	EMS-13 ford f450 service & oil change	12/15/2015	\$473.16
179		T80199	EMS-13 ford f450 maintenance	12/03/2015	\$483.81
180	Dave Schmidt Truck Svc Total				\$2,649.55
181	Dig-Smart LLC	1231	PW-Annual Support, Utility Locate Software	12/02/2015	\$5,000.00
182	Dig-Smart LLC Total				\$5,000.00
183	DirecTV LLC	27353152945	FD-Utilities	12/10/2015	\$151.99
184	DirecTV LLC Total				\$151.99
185	Drury Development Corporation	Oct2015, H/M	October 2015 Rebate Agreement	12/04/2015	\$3,519.05
186	Drury Development Corporation Total				\$3,519.05
187	Dutch Hollow Janitor	191917	CityHall-Ice Melter	12/07/2015	\$598.80
188		194817	Fac-can liners, towels, bath tissue	12/09/2015	\$510.80
189		194818	PD/EMS-can liner, towels, bath tissue	12/09/2015	\$432.26
190	Dutch Hollow Janitor Total				\$1,541.86
191	Ed Roehr Safety Products	440804	PD-carrier vest	12/05/2015	\$84.00
192	Ed Roehr Safety Products Total				\$84.00
193	EJ Equipment Inc	P00420	Swr-Freight	11/24/2015	\$33.43
194		P00423	Swr-Eliminator	11/24/2015	\$369.44
195		W00370	Swr-service camera truck for high humidity	12/08/2015	\$752.39
196	EJ Equipment Inc Total				\$1,155.26
197	Emsar St Louis	2015-522	EMS-Bolster Mattress	11/17/2015	\$723.06
198	Emsar St Louis Total				\$723.06
199	ERB Equipment/Mitchell	54037	Wtr-Loader	12/01/2015	\$72,990.00
200	ERB Equipment/Mitchell Total				\$72,990.00
201	Fastenal Company	ILBEL68077-CR	PW-management credit	12/15/2015	-\$508.08
202		ILBEL68101-CR	PW-management credit	12/15/2015	-\$280.92
203		ILBEL70528	PW-tape measure, trowel, gloves	11/17/2015	\$173.82
204		ILBEL70547	PW-Supplies	11/17/2015	\$65.78
205		ILBEL70622	PW-gloves (42 pair various)	11/25/2015	\$384.93
206		ILBEL70719	PW-safety gloves	12/04/2015	\$123.31
207		ILBEL70775	PW-safety gloves & glasses	12/08/2015	\$269.50
208	Fastenal Company Total				\$228.34
209	Faulkner, Rendy	1045	Reimb/Supplies for Art Class	10/20/2015	\$11.99
210		5900	Pks/Rec-Painting and Pinot	12/15/2015	\$247.12
211	Faulkner, Rendy Total				\$259.11
212	Ferrenbach, Eric	061815	Reimb/E License Course, F License Course	06/18/2015	\$218.75
213		062515	Reimb/Kixx Coach Supplies	06/25/2015	\$267.79
214	Ferrenbach, Eric Total				\$486.54
215	Fire Apparatus & Supply Team	15-432	FD-Flat Spring Backer	12/03/2015	\$67.74

	A	B	C	D	E
216	Fire Apparatus & Supply Team Total				\$67.74
217	FireCompanies.com	13650-34	FD-First Due Package	12/01/2015	\$239.97
218	FireCompanies.com Total				\$239.97
219	FS Turf Solutions	20360	P/R-turf	11/12/2015	\$6,792.90
220	FS Turf Solutions Total				\$6,792.90
221	Funk, Dale M	15-130	PD-Traffic/Misdemeanor Disposition	11/23/2015	\$300.00
222		15-193	Admin-Delmar Gardens	11/23/2015	\$60.00
223		15-198	Admin-Tax Objection Hearings	12/16/2015	\$172.50
224	Funk, Dale M Total				\$532.50
225	Fussell, Lloyd W	0729-082815	P/R-cell phone reimbursement	12/10/2015	\$30.00
226		0829-092815	P/R-cell phone reimbursement	12/10/2015	\$30.00
227		0929-102815	P/R-cell phone reimbursement	12/10/2015	\$30.00
228	Fussell, Lloyd W Total				\$90.00
229	Gempler's	SI02114035	P/R-fire extinguisher cases for park mtce fac	12/04/2015	\$96.75
230	Gempler's Total				\$96.75
231	Gipson, Pearl	121415	Employee Computer Procurement Program	12/15/2015	\$1,500.00
232	Gipson, Pearl Total				\$1,500.00
233	Gonzalez Office Products	200255706-Bal-Cr	CDD-Amt should have been deducted from Orig Inv	10/12/2015	-\$44.58
234		200267931	PD-Office Supplies	11/05/2015	\$272.66
235		200270916	Strts/Wtr-Office Supplies	11/11/2015	\$41.09
236		200273882	PD/EMS-Office Supplies	11/17/2015	\$42.00
237		200274203	PD/EMS-Office Supplies	11/18/2015	\$131.48
238		200279638	PD-Ink Cartridges	12/02/2015	\$111.68
239		200279708	PW-Office Supplies	12/02/2015	\$84.08
240		200281660	FD-Office Supplies	12/04/2015	\$197.36
241		200281881	Admin-Ink Cartridges	12/04/2015	\$62.60
242		200281881-1-1	Admin-Return Credit	12/08/2015	-\$62.60
243		200282652	Admin-Ink Cartridges	12/07/2015	\$233.60
244	Gonzalez Office Products Total				\$1,069.37
245	Graham, Gary	121415	Mileage reimbursement 9/23 - 12/3	12/15/2015	\$402.51
246	Graham, Gary Total				\$402.51
247	Green Guard	3490597	Admin-Medical Supplies	12/09/2015	\$77.29
248		3490600	P/R-first aid refill PMF, new first aid kit comm park mtc shed	12/09/2015	\$346.23
249	Green Guard Total				\$423.52
250	Green Machine Lawn & Landscaping, The	112415-33	ROW mowing 11/11 - 11/24	11/24/2015	\$425.00
251		32	Str/Lib-bed cleanout & bush trim	11/24/2015	\$500.00
252	Green Machine Lawn & Landscaping, The Total				\$925.00
253	Green, Rockie	0908-100715	Reimb/Cell Phone Charges	10/07/2015	\$30.00
254		1008-110715	Reimb/Cell Phone Charges	11/07/2015	\$30.00
255	Green, Rockie Total				\$60.00
256	H & G/Schultz Door	243097	PD-NSHD Printable Blanks	11/11/2015	\$250.00
257		243794	FD-Service Charge	11/30/2015	\$190.00
258	H & G/Schultz Door Total				\$440.00

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259	Hawkins Inc	3804721 RI	Wtr-Azone 15 - EPA Reg No 7870-5	11/24/2015	\$2,293.54
260	Hawkins Inc Total				\$2,293.54
261	HD Supply Waterworks Ltd	E578520	Wtr-fire hydrant replacement	12/10/2015	\$2,750.00
262		E841388	Wtr-fitting for a tap 1 1/2 - 2"	12/08/2015	\$1,129.41
263		E847648	Wtr-Supplies	12/07/2015	\$502.84
264		E889422	Wat-fire hydrant kit, water tap meter yoke	12/10/2015	\$4,325.16
265		E889429	Wtr-valve boxes, valve pit, clamps	12/10/2015	\$4,438.88
266	HD Supply Waterworks Ltd Total				\$13,146.29
267	Henry, Bill	120115	Reimb/November 2015 Mileage	12/01/2015	\$117.88
268	Henry, Bill Total				\$117.88
269	Heros in Style	143990	EMS-Uniforms/Wobbe, Scott	11/16/2015	\$117.98
270		144009	PD-Uniforms/O'Fallon Police Dep	11/17/2015	\$118.96
271		144092	PD-Uniforms/Barton, Cory	11/19/2015	\$107.98
272	Heros in Style Total				\$344.92
273	Hills Signs	27865	FD-Reflective Equipment Markers	12/12/2015	\$21.00
274	Hills Signs Total				\$21.00
275	HMG Engineers Inc	6547.1-107	Swr-W Washington St Swr Repl	12/02/2015	\$582.50
276	HMG Engineers Inc Total				\$582.50
277	Home Depot, The	1943604	PD-Key Lock Box Safe	11/19/2015	\$19.99
278		2011144	Strts-Lumber, Steel Mailbox, Steel Square, Carpenter Pencil	10/29/2015	\$129.22
279		2013213	Pks/Rec-Cutting Guide	11/18/2015	\$28.47
280		2013683	Strts-Elite Steel Mailbox	10/29/2015	\$49.94
281		2021115	Sportspark-Reducer, Coupler Kit, Heavy Duty Corn Broom	11/18/2015	\$33.41
282		2052697	PD-Totes for Evidence	10/29/2015	\$53.79
283		3020890	Cemetery-Seed	10/28/2015	\$137.71
284		3901539	PD-Totes, Paper Towel Holder	11/17/2015	\$81.89
285	Home Depot, The Total				\$534.42
286	Hong Martial Arts	120715	Pks/Rec-July 1 to Nov 30 Karate	12/07/2015	\$2,389.00
287	Hong Martial Arts Total				\$2,389.00
288	Horner & Shifrin Inc	120815-#5	Eng-Professional Svcs for St Elizabeths	12/08/2015	\$537.29
289		49750	FD-Svc Performed Prior to 11/30/15	12/02/2015	\$3,500.00
290	Horner & Shifrin Inc Total				\$4,037.29
291	Hughes Customat Inc	49044	PW-Mat Service	12/08/2015	\$44.61
292		49045	IT-Mat Service	12/01/2015	\$16.16
293		49048	WWTP-Mat Service	12/08/2015	\$36.81
294		50765	IT-Mat Service	12/15/2015	\$16.16
295	Hughes Customat Inc Total				\$113.74
296	Hutchison, Mary Jeanne	120815	Reimb/Employee Computer Program	12/08/2015	\$1,500.00
297	Hutchison, Mary Jeanne Total				\$1,500.00
298	IAPEM	9830	PD-2016 Individual Active Membership Dues	11/21/2015	\$35.00
299	IAPEM Total				\$35.00
300	IL American Water Co	1202-010416	FD-Utilities	12/02/2015	\$24.94
301	IL American Water Co Total				\$24.94

	A	B	C	D	E
302	IL Dept of Agriculture	111015A	Cem-pest control license 2016 E Schuyler	12/15/2015	\$20.00
303		111015B	P/R-pest control license 2016 A Mersinger	12/15/2015	\$20.00
304		120915	P/R-pest control license 2016 L Fullsell	12/15/2015	\$20.00
305		121415	P/R-pest control license 2016 J Smith	12/15/2015	\$20.00
306	IL Dept of Agriculture Total				\$80.00
307	IL EPA	113015	WWTP-Air Pollution Control ROSS Site Fee	11/30/2015	\$235.00
308	IL EPA Total				\$235.00
309	IL GIS Association	1348	IT-Mbrshp Renewal/Shewmaker, Rob	01/01/2016	\$55.00
310		1595	IT-Mbrshp Renewal/Gentry, Daniel	01/01/2016	\$55.00
311		1781	IT-Mbrshp Renewal/Quinn, Chad	01/01/2016	\$55.00
312	IL GIS Association Total				\$165.00
313	Johnson, Heather	5966	Pks/Rec-Jump Fit, Fall 2015	12/15/2015	\$76.80
314	Johnson, Heather Total				\$76.80
315	Johnson, Michelle L	5877C	Pks/Rec-Zumba, Fall 2015	12/15/2015	\$130.20
316	Johnson, Michelle L Total				\$130.20
317	Kohnen AC & Heating Inc	21401	Sew-headworks service call	12/01/2015	\$255.00
318	Kohnen AC & Heating Inc Total				\$255.00
319	Kuhlmann Design Group Inc	61018	MFT-Ashland Ave Extension	10/07/2015	\$32,104.16
320	Kuhlmann Design Group Inc Total				\$32,104.16
321	L W Contractors Inc	13922	PropS-Fox Run Stormwater Repair	11/30/2015	\$6,520.59
322	L W Contractors Inc Total				\$6,520.59
323	Litteken, Grant	121315	Mileage reimbursement 10/15 - 12/10	12/15/2015	\$133.40
324	Litteken, Grant Total				\$133.40
325	Lowenbaum Partnership LLC	78750	WWTP-Professional Svcs	11/30/2015	\$1,050.00
326		78751	Strts-Employee Discharge Issues	11/30/2015	\$1,848.75
327	Lowenbaum Partnership LLC Total				\$2,898.75
328	MABOI	110215	CDD-2016 Membership Dues	11/02/2015	\$210.00
329	MABOI Total				\$210.00
330	MAC Electric Inc	3720	Wtr-Labor/Materials to Repair Overhead Radiant Heater	11/23/2015	\$1,253.50
331	MAC Electric Inc Total				\$1,253.50
332	Maclair Asphalt Sales LLC	22780	MFT-Cold Patch	12/01/2015	\$512.40
333		22806	MFT-asphalt 6.48 ton	12/07/2015	\$777.60
334	Maclair Asphalt Sales LLC Total				\$1,290.00
335	Macro Logic Inc	CR-318	EMS-Additional Local Field Unit Report	11/19/2015	\$1,300.00
336	Macro Logic Inc Total				\$1,300.00
337	Marketing by Melissa	768536	Pks/Rec-KIXX Marketing	12/01/2015	\$2,000.00
338	Marketing by Melissa Total				\$2,000.00
339	Martin, Lauren N	6051	Pks/Rec-Youth Volleyball Skills and Drills, Fall 2015	12/14/2015	\$677.50
340	Martin, Lauren N Total				\$677.50
341	Massey, Melissa L	6051	Pks/Rec-Youth Volleyball Skills and Drills, Fall 2015	12/14/2015	\$677.50
342	Massey, Melissa L Total				\$677.50
343	Maxson Services	5723	CityHall-Labor to Repair Men's Bathroom Urinal	11/17/2015	\$142.29
344		7638	P/R-winterize bathrooms by public safety	11/03/2015	\$135.00

	A	B	C	D	E
345	Maxson Services Total				\$277.29
346	Mediclaims Inc	15-17574	EMS-Percentage of Receipts	10/31/2015	\$7,455.31
347	Mediclaims Inc Total				\$7,455.31
348	Med-Tech Resource Inc	53202	EMS-tourniquet, bandages	12/04/2015	\$281.55
349	Med-Tech Resource Inc Total				\$281.55
350	Menard Inc	88584	Wtr-Repair Chlorine Injection System	12/03/2015	\$14.12
351		88746	Pks/Rec-Light Bulbs	12/05/2015	\$35.88
352	Menard Inc Total				\$50.00
353	Mensen, Erik	121515	PD-Travel-IPSTA conf Springfield IL	12/15/2015	\$20.60
354	Mensen, Erik Total				\$20.60
355	Midwest Industrial Supplies & Svcs	17969	Wtr-coverall C Suydam	12/10/2015	\$97.75
356	Midwest Industrial Supplies & Svcs Total				\$97.75
357	Midwest Meter Inc	73142-IN	Wtr-replace 4 meters used for St E construction	12/07/2015	\$11,524.58
358	Midwest Meter Inc Total				\$11,524.58
359	Midwest Municipal Supply	0146153	Wtr-supplies for 2 hydrant repairs	12/08/2015	\$4,140.68
360		0146230	Wtr-15 Setter 1" DP (60 count)	12/10/2015	\$14,485.80
361	Midwest Municipal Supply Total				\$18,626.48
362	Millennia Professional Services of IL Ltd	ME15041.01-2	Prop S-W 2nd St reconstruction	11/02/2015	\$17,237.50
363	Millennia Professional Services of IL Ltd Total				\$17,237.50
364	Minor, William	041115-Repl	EMS-Ambulance Run Refund Repl Ck	10/21/2015	\$100.00
365	Minor, William Total				\$100.00
366	Missouri Petroleum Products Co LLC	36335	MFT-Fuel	11/19/2015	\$1,128.50
367	Missouri Petroleum Products Co LLC Total				\$1,128.50
368	Motorola Solutions Inc	91990356	FD-Desktop MIC	11/30/2015	\$125.93
369	Motorola Solutions Inc Total				\$125.93
370	MVI Inc	P-42678-0	Wtr/Swr-SCADA Services	11/30/2015	\$1,560.00
371		P-42780-0	Wtr/Swr-scada service 12/1 - 12/4	12/07/2015	\$2,080.00
372	MVI Inc Total				\$3,640.00
373	New World Systems	046547	Utility billing training on .NET	11/30/2015	\$1,405.31
374	New World Systems Total				\$1,405.31
375	News Democrat	M0409193	Eng-Advertising/Civil Engineer Posting	11/29/2015	\$300.00
376	News Democrat Total				\$300.00
377	O'Fallon Chamber of Commerce	1015	EconDev-Pmt for Attendance of Holiday Party	12/09/2015	\$140.00
378	O'Fallon Chamber of Commerce Total				\$140.00
379	O'Fallon Fire Dept	1309	Reimb/December Meeting Meal	12/12/2015	\$113.97
380		437459	Reimb/December Meeting Meal	12/12/2015	\$88.29
381	O'Fallon Fire Dept Total				\$202.26
382	O'Fallon Glass & Mirror LLC	13128	PD-glass for cell doors	12/07/2015	\$80.00
383	O'Fallon Glass & Mirror LLC Total				\$80.00
384	O'Fallon Progress Inc	M0410341	CDD,EconDev-Advertising	11/29/2015	\$105.96
385	O'Fallon Progress Inc Total				\$105.96
386	O'Fallon Tire Center	13079	P/R-new front tires	12/10/2015	\$284.90
387		13085	Rotary Van Tires	12/16/2015	\$339.90

	A	B	C	D	E
388	O'Fallon Tire Center Total				\$624.80
389	O'Reilly Auto Parts	1151-134412	PD-Mini Bulbs	11/07/2015	\$9.54
390		1151-137818	PD-Mirror Mount	11/28/2015	\$3.49
391		1151-138098	Strts-Battery	11/30/2015	\$92.37
392		1151-138357	P/R-lubricant	12/01/2015	\$25.97
393		1151-138440	FD-TechWax, Compound	12/02/2015	\$30.98
394		1151-138463	Strts-Heater Hose, Flush Kit	12/02/2015	\$5.10
395		1151-138468	Strts-Air/Oil Filters	12/02/2015	\$40.72
396		1151-138469	Strts-Air Filter	12/02/2015	\$7.39
397		1151-138533	SprtPk-battery	12/02/2015	\$68.60
398		1151-140328	EMS-air plug, gauge	12/13/2015	\$15.78
399	O'Reilly Auto Parts Total				\$299.94
400	Ostendorf, Daryl	121515	PD-travel NIMS COML training Effingham IL	12/15/2015	\$31.00
401	Ostendorf, Daryl Total				\$31.00
402	Overhead Door Company of STL	SVC/474360	PD/EMS-Automatic Door on the Front of OPD	11/16/2015	\$68.85
403	Overhead Door Company of STL Total				\$68.85
404	Paragon Micro Inc	636509	IT-AC Adapters for Tablets	12/07/2015	\$127.98
405	Paragon Micro Inc Total				\$127.98
406	Pass Security LLC	328014	PD-system monitoring Jan-Mar 2016	12/01/2015	\$93.00
407	Pass Security LLC Total				\$93.00
408	Paving Maintenance Supply Inc	10186265	Strts-Wand, Hose, Labor	12/01/2015	\$3,390.95
409	Paving Maintenance Supply Inc Total				\$3,390.95
410	Perfect Mound, The	120215A	SprtPk-4pc youth game mound w/artificial turf	12/02/2015	\$3,895.00
411	Perfect Mound, The Total				\$3,895.00
412	Personnel Evaluation Inc	16232	PD/EMS-PEP Start-Up Kit, Shipping	10/31/2015	\$257.40
413	Personnel Evaluation Inc Total				\$257.40
414	Petroff Towing	52868	EMS-Towing on Totalled Ambulance	11/17/2015	\$975.00
415	Petroff Towing Total				\$975.00
416	Petty Cash	112315-Thomas	PD-Patch Removed	11/23/2015	\$3.00
417		121415	City Clerk-replenish petty cash (postage, parking)	12/15/2015	\$97.98
418		467309	CH-Parking Fee/Quinn, Chad	11/24/2015	\$3.00
419		467310	CH-Notary Renewal/Short, Jessica	11/25/2015	\$10.00
420		467311	CH-Nov 2015 Mileage Reimb/Fair, Maryanne	12/04/2015	\$19.55
421		467313	CH-Dec Newsletter Name Winner	12/10/2015	\$10.00
422		467314	CH-Newsletter Game Winner/Rushing, Joe	12/10/2015	\$10.00
423		467315	CH-IGFOA Name Tags/Parking Fee/Evans, Sandra	12/10/2015	\$5.62
424		467316	CH-Calendar Reimb/Costello, Robin	12/11/2015	\$16.38
425		467317	CH-Planners Breakfast/Randall, Justin	12/11/2015	\$10.56
426		467318	CH-IGFOA Luncheon Gift	12/11/2015	\$5.38
427		467319	CH-SLACMA Mtg/Denton, Walter	12/15/2015	\$15.00
428		467320	CH-Ham for Xmas Luncheon	12/17/2015	\$15.64
429	Petty Cash Total				\$222.11
430	Pitney Bowes Purchase Power	120315A	Wtr/Swr-A/D Bill Mailing	12/03/2015	\$2,081.74

	A	B	C	D	E
431	Pitney Bowes Purchase Power	120315B	Wtr/Swr-A/D Bill Mailing	12/03/2015	\$1,179.59
432		121115	PW-postage meter	12/11/2015	\$610.20
433		121415	Wtr/Swr-Postage Permit Fees	12/14/2015	\$77.11
434	Pitney Bowes Purchase Power Total				\$3,948.64
435	Plumbers Supply	6464175	Wtr-Nipple Black 3/8 x 8	11/11/2015	\$5.78
436	Plumbers Supply Total				\$5.78
437	Prestige Commercial Services Inc	2863	PD/EMS-cleaning shower rooms & locker rooms	11/23/2015	\$550.00
438		2870	CityHall-Dec Cleaning	12/01/2015	\$1,590.00
439		2871	Fac-Dec Cleaning	12/01/2015	\$155.00
440		2872	Depot-Dec Cleaning	12/01/2015	\$301.00
441		2873	FD-Dec Cleaning	12/01/2015	\$150.00
442		2874	PD/EMS-monthly cleaning Dec	12/01/2015	\$4,090.00
443		2875	IT-Dec Cleaning	12/01/2015	\$445.00
444		2876	Wtr,Strts-Dec Cleaning	12/01/2015	\$580.00
445		2877	WWTP-Dec Cleaning	12/01/2015	\$60.00
446		2878	P/R-monthly cleaning Dec (katy cavin, rock spring)	12/01/2015	\$1,590.00
447		2879	Fac-Dec Cleaning	12/01/2015	\$305.00
448	Prestige Commercial Services Inc Total				\$9,816.00
449	Quality Filters & Equipment Inc	8818	Fac-filters CH	12/09/2015	\$66.00
450	Quality Filters & Equipment Inc Total				\$66.00
451	R P Lumber Co Inc	1511-092390	Strts-Premix Concrete, Concrete Blocks, Wire Brush	11/09/2015	\$52.19
452		1511-129579	Strts-Masonry Bit, Tapcon Bit	11/18/2015	\$8.48
453		1512-176208	Strts-Premix Concrete	12/01/2015	\$23.94
454	R P Lumber Co Inc Total				\$84.61
455	Ray O'Herron Co Inc	1564536-IN	PD-Fuses	11/20/2015	\$210.22
456	Ray O'Herron Co Inc Total				\$210.22
457	Red-E-Mix LLC	768083	Strts-4000 PSI O/S Flatwork, Small Load Chg	11/19/2015	\$320.00
458		768536	Strts-4000 PSI O/S Flatwork, Winter Svc, Sm Load Chg	12/02/2015	\$214.50
459		768680	Strts-4000 PSI O/S Flatwork, Small Load Chg	12/04/2015	\$343.50
460	Red-E-Mix LLC Total				\$878.00
461	Rejis Commission	INV0045041	PD-Computer Services	11/15/2015	\$227.75
462		INV0045309	IT-Nov 2015 Services	12/17/2015	\$11,412.00
463	Rejis Commission Total				\$11,639.75
464	Reserves of Timber Ridge LLC	111715	Wtr-Water Line 12" vs 8", Ph 1	11/17/2015	\$12,738.00
465		111715B	Wtr-Simmons Rd Wtr Main Extension	11/17/2015	\$39,483.19
466	Reserves of Timber Ridge LLC Total				\$52,221.19
467	Rhutasel and Associates	12141	Strts-Venita Overpass	11/16/2015	\$1,258.95
468	Rhutasel and Associates Total				\$1,258.95
469	Right Green Outdoor Svcs LLC	3894	CDD-Mow, Trim, Blow @ 325 Agnes	11/18/2015	\$40.00
470	Right Green Outdoor Svcs LLC Total				\$40.00
471	Rite Business Products	17467	Wtr/Swr-2 Part Service Orders	12/08/2015	\$424.09
472	Rite Business Products Total				\$424.09
473	Ronnoco Coffee LLC	1001435389	PD/EMS-Coffee	11/20/2015	\$134.25

	A	B	C	D	E
474	Ronnoco Coffee LLC	1001472008	Upstairs-Coffee	12/04/2015	\$42.39
475		1001472070	PD/EMS-Coffee	12/04/2015	\$134.25
476		1001472932	PW-Coffee	12/04/2015	\$42.39
477		1001472967	Downstairs-Coffee	12/04/2015	\$47.90
478	Ronnoco Coffee LLC Total				\$401.18
479	Scheffel Boyle	108804	Audit Charges	11/30/2015	\$14,300.00
480	Scheffel Boyle Total				\$14,300.00
481	Service Express Inc	203083	IT-Qtrly Server Maintenance Contract w/SEI	11/30/2015	\$2,784.00
482		43669 Cr	IT-Server Warranty Maint	09/16/2015	-\$534.34
483	Service Express Inc Total				\$2,249.66
484	Shred-It USA LLC	062759968	Professional Shredding	12/10/2015	\$60.00
485		62759981	PD/EMS-Professional Shredding	12/10/2015	\$88.00
486	Shred-It USA LLC Total				\$148.00
487	Shur Clean Carpet Care	Nov 2015	CH,Dep,Pks,FD-Entrance Mat Rental	12/10/2015	\$204.00
488	Shur Clean Carpet Care Total				\$204.00
489	Simons Auto Repair Inc	86754	Wtr-Svc on 2003 Dodge Pickup	12/07/2015	\$764.91
490	Simons Auto Repair Inc Total				\$764.91
491	Southern Illinois Development Academy 4b		Membership Fee, Referee Fee, Marchese League Fee	12/07/2015	\$310.00
492	Southern Illinois Development Academy Total				\$310.00
493	Spectra Graphics Inc	28218	FD-1C Print on Customer Jackets	11/30/2015	\$44.00
494		28219	FD-Embroidery, Cap/Front Panel	11/30/2015	\$21.95
495	Spectra Graphics Inc Total				\$65.95
496	St Clair Service Co	10304	Sportspark-Diesel (1.57 Gal), Unleded (94 Gal)	11/17/2015	\$446.03
497		10434	PD/EMS-Diesel	12/04/2015	\$265.60
498		12101	Strts-Tire Shop Labor/Service	11/18/2015	\$165.00
499	St Clair Service Co Total				\$876.63
500	St Louis Area Maps Inc	13647	EMS-Street Guide, Shipping	12/01/2015	\$73.70
501	St Louis Area Maps Inc Total				\$73.70
502	State Industrial Products Corp	97567751	WWTP-Drain Maint Program	12/01/2015	\$469.00
503		97567754	WWTP-Program	12/01/2015	\$400.00
504	State Industrial Products Corp Total				\$869.00
505	Stericycle Inc	4005957875	EMS-Medical Supplies	12/01/2015	\$195.54
506	Stericycle Inc Total				\$195.54
507	Steve's Auto Body Inc	RO #026978	PD-Svc on 2014 Ford Explorer, Unit 44	12/10/2015	\$2,277.49
508	Steve's Auto Body Inc Total				\$2,277.49
509	SW Electric Cooperative Inc	120715	Strts-Witte Farms Street Lights	12/07/2015	\$389.64
510	SW Electric Cooperative Inc Total				\$389.64
511	Taylor Roofing	907655	Fac-Labor Looking for Water Leak	11/25/2015	\$404.35
512		907669	Pks/Rec-Roof Repair at KCCC	11/25/2015	\$271.34
513		907670	FD-Labor/Material to Locate and Repair Two Open Spots	11/25/2015	\$355.48
514	Taylor Roofing Total				\$1,031.17
515	Teklab Inc	180176	WWTP-NPDES Discharge Zinc, Total Nitrogen	12/01/2015	\$1,072.50
516		180302	WWTP-Prairie Farms BOD/TSS	12/03/2015	\$1,875.50

	A	B	C	D	E
517	Teklab Inc	180363	WWTP-Pet Dairy Weekly	12/07/2015	\$495.26
518		180639	WWTP-Pet Dairy Weekly	12/14/2015	\$377.30
519	Teklab Inc Total				\$3,820.56
520	Terminix	350476649	FD-Pest Control/528 W Hwy 50	11/09/2015	\$45.00
521		350476650	FD-Pest Control/106 E Washington	11/09/2015	\$42.00
522		350476770	FD-Pest Control/102 Oak St	11/09/2015	\$38.00
523	Terminix Total				\$125.00
524	Thomson West	833013594	WEST INFORMATION CHARGES	11/30/2015	\$296.15
525	Thomson West Total				\$296.15
526	Thouvenot, Wade & Moerchen Inc	54383	St Elizabeth's Utility Support	11/30/2015	\$2,287.00
527	Thouvenot, Wade & Moerchen Inc Total				\$2,287.00
528	TMF Innovations Marketing	201597	Pks/Rec-Brochure Design	12/14/2015	\$960.00
529	TMF Innovations Marketing Total				\$960.00
530	Trane US Inc	35987607	CityHall-Repl Heat Exchanger, Labor/Materials	12/08/2015	\$3,344.00
531	Trane US Inc Total				\$3,344.00
532	TransUnion Risk and Alternative Data So	0901-093015	PD-TLOxp Charges & Credits	10/01/2015	\$110.50
533		1001-103115	PD-TLOxp Charges & Credits	11/01/2015	\$139.19
534		1101-113015	PD-TLOxp Charges & Credits	12/01/2015	\$112.25
535	TransUnion Risk and Alternative Data Solutions Inc Total				\$361.94
536	Valentine, Jennifer	121515	TUITION REIMBURSEMENT	12/15/2015	\$802.28
537	Valentine, Jennifer Total				\$802.28
538	Vermeer of Missouri & Illinois	E03062	BORING MACHINE APPROVED AT CITY COUNCIL 9/8/15	12/10/2015	\$45,135.00
539	Vermeer of Missouri & Illinois Total				\$45,135.00
540	Visu-Sewer of Missouri LLC	10709	Swr-Equipment & Men to Grout	12/02/2015	\$6,740.00
541	Visu-Sewer of Missouri LLC Total				\$6,740.00
542	Warma-Witter-Kreisler	37094	CDD-New Bond Notary/Short, Jessica	11/25/2015	\$30.00
543	Warma-Witter-Kreisler Total				\$30.00
544	Warning Lites of Southern Illinois LLC	4069	Strts-Telespar Posts, Stub for Telespar	12/01/2015	\$169.20
545		4071	Strts-Telespar Posts, Stub for Telespar, Hardware	12/01/2015	\$89.60
546	Warning Lites of Southern Illinois LLC Total				\$258.80
547	Weilmuenster, John	120915	EconDev-Seven Hills Rd Annex Agreement	12/09/2015	\$804.83
548	Weilmuenster, John Total				\$804.83
549	Wireless USA	238660	PD/EMS-Dec 2015 Service Contract	11/24/2015	\$1,328.00
550		238787	PD-Parts Purchase	11/24/2015	\$50.10
551		238827	EMS-Repair	11/24/2015	\$400.00
552		238849	FD-Repair	11/24/2015	\$100.00
553		238902	PD-Repair, Transportation	12/07/2015	\$93.20
554	Wireless USA Total				\$1,971.30
555	Woody's Municipal Supply Co	46254	Strts-Culvert, Connecting Band	12/07/2015	\$815.39
556		46255	Strts-Trunking Nozzle, Freight for Sweeper	12/07/2015	\$590.36
557	Woody's Municipal Supply Co Total				\$1,405.75
558	Wright Express	43131697	Monthly Fuel Charges	11/30/2015	\$17,578.30
559	Wright Express Total				\$17,578.30

	A	B	C	D	E
560	Grand Total				\$634,930.88